



**NORTH ELEVATION**

SCALE: 1/32" = 1'-0"

**HALLANDALE BEACH SHOPPES**  
HALLANDALE BEACH, FL



MANUEL SYNALOVSKI ASSOCIATES, LLC  
architecture • interior design • planning  
1800 Eller Drive, Suite 500 • Fort Lauderdale, FL 33316  
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HALLANDALE BEACH SHOPPES  
HALLANDALE BEACH, FL

SCALE: 1" = 30'-0"



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**LAND DESCRIPTION:**

THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, LESS THE SOUTH 450 FEET, LESS THE WEST 25 FEET, LESS THE EAST 25 FEET AND LESS THE NORTH 154 FEET OF SECTION 28, TOWNSHIP 51 SOUTH, RANGE 42 EAST, AS RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

AND INCLUDING THE WEST 104 FEET OF THE EAST 134 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, LESS THE NORTH 50 FEET AND LESS THE SOUTH 450 FEET AND LESS THAT PORTION DESCRIBED IN O.R. BOOK 8550, PAGE 588, BEING DESCRIBED AS FOLLOWS:

BEGIN AT THE POINT OF INTERSECTION OF THE SOUTH LINE OF THE NORTH 50.00 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 28 WITH THE WEST LINE OF THE EAST 25.00 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 28; THENCE RUN SOUTH 87°35'34" WEST ALONG THE SOUTH LINE OF THE NORTH 50.00 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 28 FOR A DISTANCE OF 20.16 FEET; THENCE RUN SOUTH 47°10'22" EAST FOR A DISTANCE OF 28.40 FEET; THENCE RUN NORTH 01°56'18" WEST, ALONG THE WEST LINE OF THE EAST 25.00 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 28 FOR A DISTANCE OF 20.16 FEET TO THE POINT OF BEGINNING.

**TOGETHER WITH:**

THE NORTH 154.00 FEET OF THE W 1/2 OF THE NW 1/4 OF THE SE 1/4 OF THE NW 1/4, LESS THE NORTH 50.00 FEET THEREOF, LESS THE WEST 25.00 FEET THEREOF, AND LESS THE EAST 134.00 FEET THEREOF, IN SECTION 28, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, AND LESS THAT PORTION CONVEYED TO BROWARD COUNTY, FLORIDA, IN THE DEED DATED MAY 7, 1974, BEING DESCRIBED AS FOLLOWS:

BEGIN AT THE POINT OF INTERSECTION OF THE SOUTH LINE OF THE NORTH 50.00 FEET OF THE W 1/2 OF THE NW 1/4 OF THE SE 1/4 OF THE NW 1/4 OF SAID SECTION 28 WITH THE EAST LINE OF THE WEST 25.00 FEET OF THE W 1/2 OF THE NW 1/4 OF THE SE 1/4 OF THE NW 1/4 OF SAID SECTION 28; THENCE RUN N 87°35'34" E ALONG THE SOUTH LINE OF THE NORTH 50.00 FEET OF THE W 1/2 OF THE NW 1/4 OF THE SE 1/4 OF THE NW 1/4 OF SAID SECTION 28 FOR A DISTANCE OF 19.84 FEET; THENCE RUN S 42°44'05" W FOR A DISTANCE OF 28.11 FEET; THENCE RUN N 01°57'23" W ALONG THE EAST LINE OF THE WEST 25.00 FEET OF THE W 1/2 OF THE NW 1/4 OF THE SE 1/4 OF THE NW 1/4 OF SAID SECTION 28 FOR A DISTANCE OF 19.84 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

**SITE INFORMATION:**

CURRENT ZONING: B-G / PLANNED REDEVELOPMENT OVERLAY DISTRICT

PROPOSED USE: RETAIL / OFFICE / RESTAURANT

**UTILITIES:**

ELECTRIC - FP 4 L

WATER AND SEWER - CITY OF HALLANDALE BEACH

**SITE CALCULATIONS**

TOTAL SITE AREA : (113 ACRES) 49,251 SQ. FT. (INCLUDES ROW DEDICATION)

TOTAL SITE AREA : (102 ACRES) 44,405 SQ. FT. (EXCLUDES ROW DEDICATION)

TOTAL LANDSCAPE AREA : 10,150 SQ. FT. 22.85 %

TOTAL IMPERVIOUS AREA : 34,255 SQ. FT. 71.15 %

**LANDSCAPE AREA:**

TOTAL REQUIRED: 15.00 %

TOTAL PROVIDED: 10,150 SQ. FT. 22.85 %

**IMPERVIOUS AREA:**

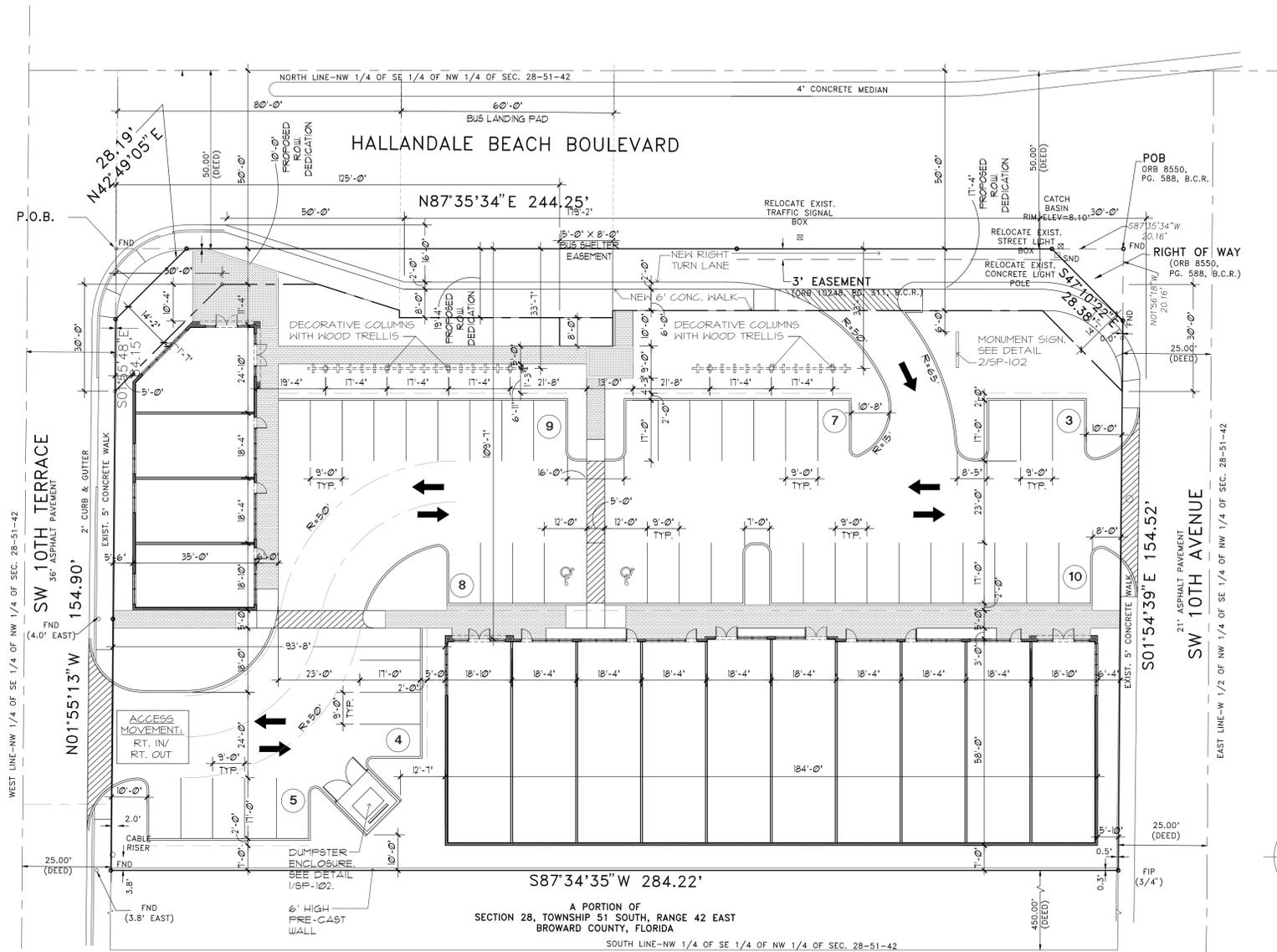
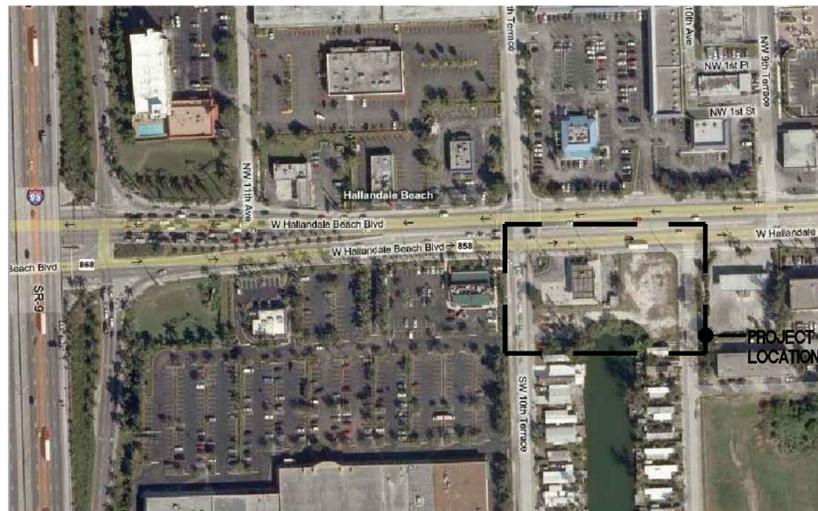
TOTAL PROVIDED: 34,255 SQ. FT. 71.15 %

BUILDING FOOTPRINT AREA: 13,376 SQ. FT. 30.12 %

WALKS: 3,364 SQ. FT. 7.58 %

VEHICULAR USE AREA (V. U. A.): 17,515 SQ. FT. 39.45 %

**LOCATION MAP**



BUILDING DATA							
BUILDING	BUILDING USE	GROSS BUILDING AREA (INCLUDES EXT. WALLS)	AREA FOR PARKING CALCULATIONS	PARKING RATIO	PARKING REQUIRED	PARKING PROVIDED	ADA PARKING REQUIRED / PROVIDED
NEW (1) STORY	RES/RET	2,680 S.F.	2,534 S.F. (GFA)	1/250 S.F.	10,13 SPACES	11 SPACES	FBC 11.4.1.2
	RETAIL	10,696 S.F.	10,374 S.F. (GLA)	1/250 S.F.	41.49 SPACES	35 SPACES (*)	FBC 11.4.1.2
TOTAL		13,376 S.F.			52 SPACES	46 SPACES (*)	2 SPACES 2 SPACES

**NOTE:**  
(\*) REQUEST FOR REDUCTION OF 6 SPACES PER SEC. 32-455(c)(1), EQUAL OR LESS THAN 10% OF TOTAL REQUIRED PARKING.



Architecture • Planning • Interior Design

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WWW.SYNALOVSKI.COM

MANUEL SYNALOVSKI, AIA  
AR 0011628  
SEAL

LICENSE NO. AA26001863

**HALLANDALE BEACH SHOPS**

1000-1001 W. HALLANDALE BEACH BLVD.  
HALLANDALE BEACH, FL 33009

CLIENT: HB 1000-18 LLC

REV	DATE	DESCRIPTION
1	08/10/12	CITY / COUNTY COMMENTS

DESIGN DELIVERABLE: DRC SUBMITTAL  
ISSUE DATE: 04/23/12

PROJECT NUMBER: 1037-090827

DRAWN BY: JS

CHECKED BY: MS

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SHEET TITLE:

**SITE PLAN**

SHEET NUMBER:  
**SP-101**

SITE PLAN  
SCALE: 1" = 20'-0"

1





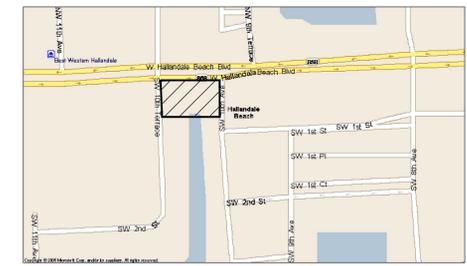
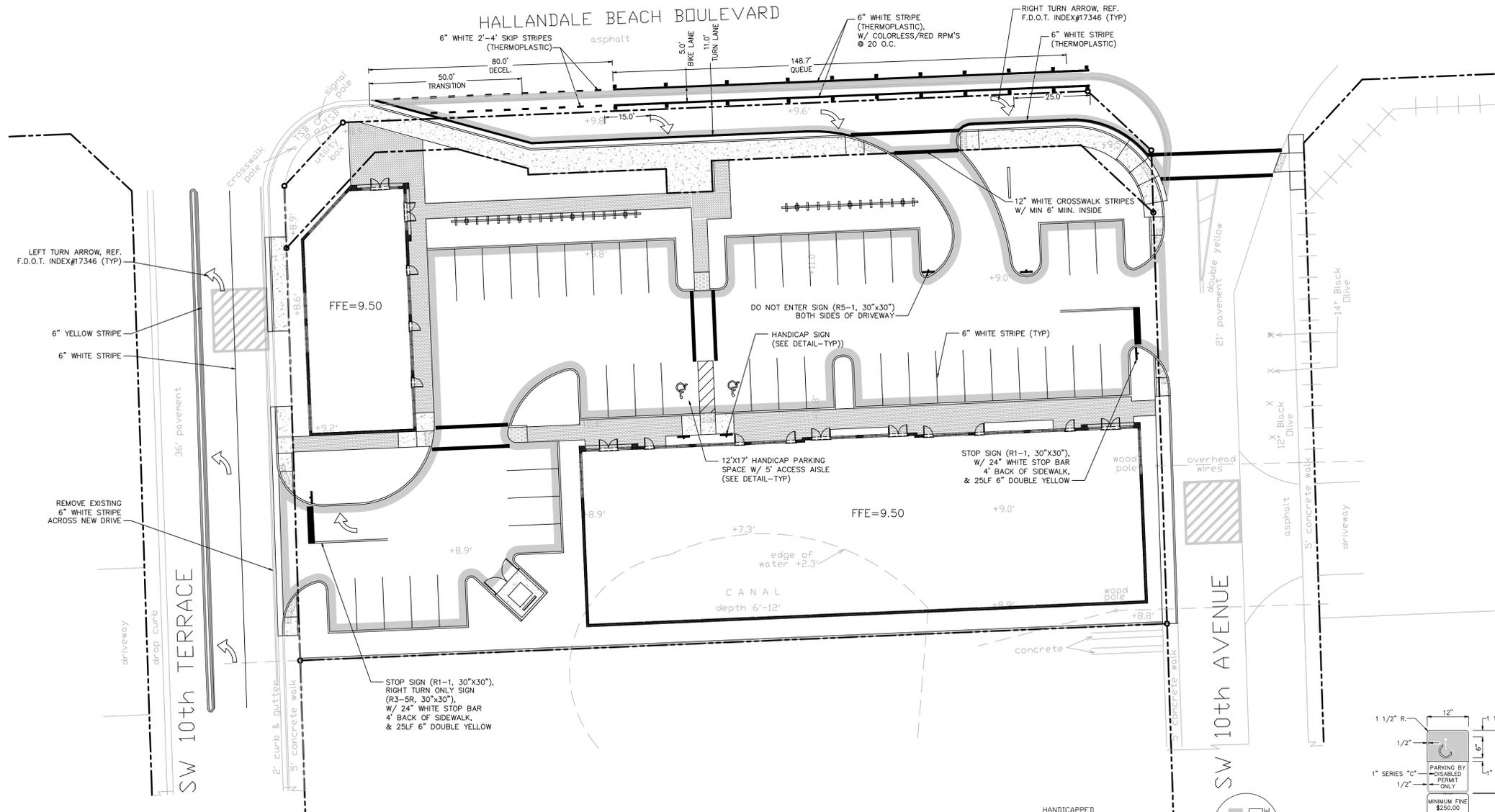




# WEST HALLANDALE BEACH BOULEVARD

4' concrete median

## HALLANDALE BEACH BOULEVARD



LOCATION SKETCH NORTH N.T.S.

- LEGEND:**
- PROPOSED ELEVATION
  - EXISTING ELEVATION
  - PROPOSED CATCH BASIN
  - PROPOSED PLUG
  - WATER METER
  - DOUBLE DETECTOR CHECK W/ WAFERS
  - REDUCED PRESSURE BACKFLOW PREVENTOR
  - DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
  - PROPOSED MANHOLE
  - WATER MAIN
  - SANITARY FORCE MAIN
  - VALVE
  - FIRE HYDRANT
  - SIAMESE CONNECTION
  - CLEANOUT
  - EDGE OF PROPOSED PAVEMENT (ASPHALT)
  - DIRECTION OF SURFACE DRAINAGE
  - SAMPLE POINT
  - EXIST. WATER MAIN
  - EXIST. UTILITY LINE TO BE REMOVED

CALL 48 HOURS BEFORE YOU DIG IN FLORIDA

**1-800-432-4770**  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

**NPDES**

ALL PROJECTS THAT WILL RESULT IN THE DISTURBANCE OF 1 OR MORE ACRES OF LAND CONTRACTORS ARE REQUIRED TO SUBMIT A STORM WATER NOTICE OF INTENT (DEP FORM 62-521,300(4)(b)) 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, NPDES STORMWATER PROGRAM, 2600 BLAIR STONE ROAD MAIL STATION 2510, TALLAHASSEE, FL 32399-2400. ADDITIONAL DETAILS ARE AVAILABLE AT WWW.DEF.STATE.FL.US/WATER/STORMWATER/NPDES

**BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION**

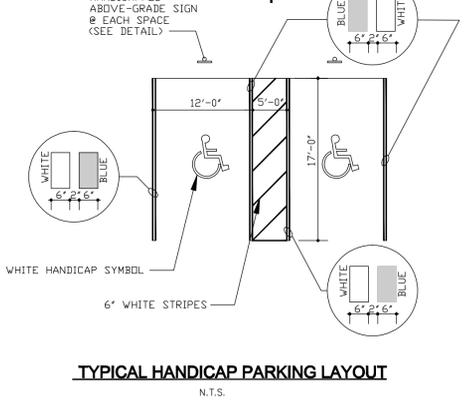
PLAN CONSISTANT WITH PLAT REQUIREMENTS  
 PUBLIC RIGHT OF WAY APPROVAL FOR PAVING, GRADING AND DRAINAGE

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

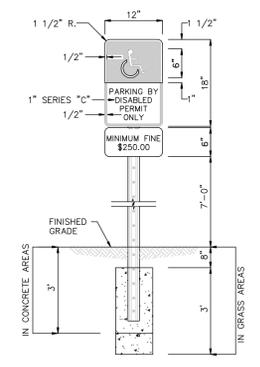
DOES NOT INCLUDE APPROVAL OF PAVEMENT MARKINGS & SIGNS

**PAVEMENT MARKING & SIGNAGE NOTES:**

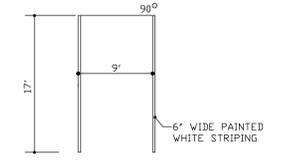
1. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC, EXCEPT FOR PARKING STALL STRIPING.
2. R1-1 SIGNS SHALL BE HIGH INTENSITY.
3. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD).
4. BLUE RPM'S REQUIRED IN THE CENTER OF THE NEAREST DRIVE ISLE ADJACENT TO FIRE HYDRANTS.



**TYPICAL HANDICAP PARKING LAYOUT**  
N.T.S.



**HANDICAPPED PARKING SIGN**  
**FTP-25 W/ SUPPLEMENTAL 12"x6"**  
**"MINIMUM FINE \$250.00" SIGN**  
N.T.S.



**TYPICAL PARKING LAYOUT**  
N.T.S.



**FLS**  
FLYNN ENGINEERING SERVICES, P.A.  
CIVIL ENGINEERS

241 COMMERCIAL BLVD.  
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FAX: (954) 522-7630  
www.flynnengineering.com  
EB# 6578

Sheet Title  
**PAVEMENT MARKING AND SIGNAGE PLAN**

Job Title  
**HALLANDALE BEACH SHOPS**  
1000-1001 W. HALLANDALE BEACH BOULEVARD  
CITY OF HALLANDALE BEACH, BROWARD COUNTY, FLORIDA 33009

Phase:  
**DRC DOCUMENTS**

Scale:	Date
1"=20.0'	10/20/09
Job No.	Plot Date
09-0865.00	08/08/12
Drawn by	Sheet No.
DRS	
Proj. Engr.	<b>C1.0</b>
DRS	
Appr. by	1 of 6
DRS	





**LOCATION SKETCH**  
NORTH  
N.T.S.

**LEGEND:**

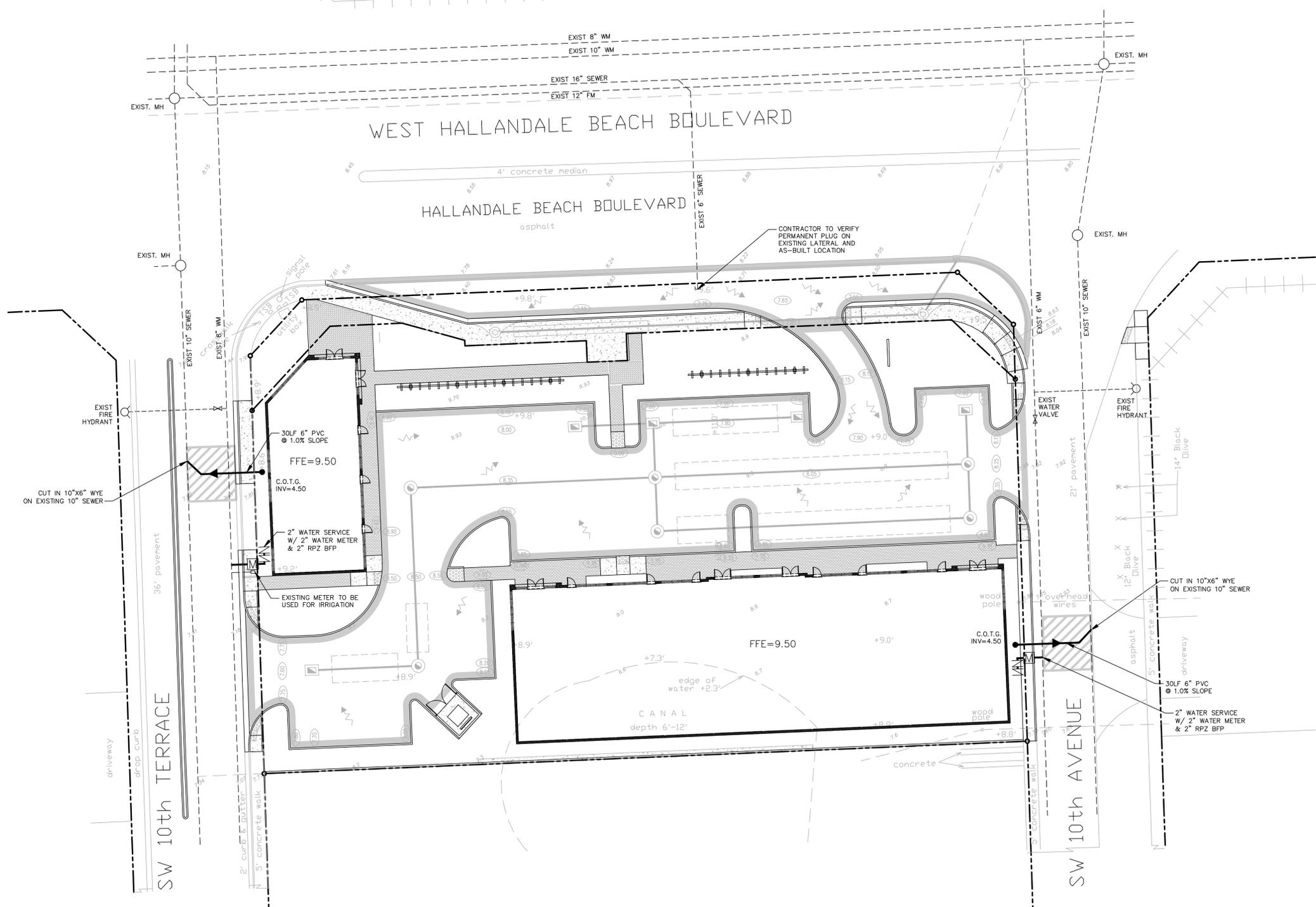
- PROPOSED ELEVATION
- EXISTING ELEVATION
- ▭ PROPOSED CATCH BASIN
- PROPOSED PLUG
- ⊕ WATER METER
- ⊕ DOUBLE DETECTOR CHECK W/ WAFER CHECK VALVE ON DOWNSTREAM SIDE
- ⊕ REDUCED PRESSURE BACKFLOW PREVENTOR
- DIRECTIONAL FLOW ARROW
- PROPOSED MANHOLE
- W - WATER MAIN
- FM - SANITARY FORCE MAIN
- ⊕ VALVE
- ⊕ FIRE HYDRANT
- ⊕ SIAMSESE CONNECTION
- ⊕ CLEANOUT
- ▭ EDGE OF PROPOSED PAVEMENT (ASPHALT)
- DIRECTION OF SURFACE DRAINAGE
- SAMPLE POINT
- W - EXIST. WATER MAIN
- FM - EXIST. UTILITY LINE TO BE REMOVED

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IT'S THE LAW  
**1-800-432-4770**  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

**NPDES**

ALL PROJECTS THAT WILL RESULT IN THE DISTURBANCE OF 1 OR MORE ACRES OF LAND CONTRACTORS ARE REQUIRED TO SUBMIT A STORM WATER NOTICE OF INTENT (DEP FORM 62-521.300(4)(b)) 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, NPDES STORMWATER PROGRAM, 2600 BLAIR STONE ROAD MAIL STATION 2510, TALLAHASSEE, FL 32399-2400. ADDITIONAL DETAILS ARE AVAILABLE AT WWW.DEP.STATE.FL.US/WATER/STORMWATER/NPDES



- WATER AND SEWER NOTES:**
- CLEANOUTS AND MANHOLES ON SANITARY LINES ARE TO BE ADJUSTED TO BE FLUSH WITH FINISHED GRADE.
  - CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEE, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
  - CONTRACTOR SHALL PROVIDE ANY EASEMENT DOCUMENTATION AROUND M.H.'S, BACKFLOW PREVENTORS, MAINLINES, METERS, ETC. AS REQUIRED BY THE CITY SO THAT THE OWNER MAY RECORD ANY EASEMENTS WITH THE CITY. CONTRACTOR'S SURVEYOR MUST COORDINATE WITH THE CITY AND PROVIDE ALL NECESSARY EASEMENT DOCUMENTATION TO THE OWNER. THE OWNER MUST THEN PROVIDE ALL RECORDED UTILITY EASEMENT DOCUMENTS TO THE CITY PRIOR TO FINAL ACCEPTANCE.
  - CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CITY UTILITY DEPT. ANY WATER MAIN CONNECTIONS, UTILITY CONNECTIONS AND SCHEDULE MUST BE APPROVED BY THE CITY PRIOR TO IMPLEMENTATION. THE CONTRACTOR IS REQUIRED TO PAY FOR ALL COSTS ASSOCIATED WITH THIS WORK REGARDLESS OF WHETHER OR NOT THE UTILITY OR THE CONTRACTOR PERFORMS THE WORK.
  - W.M./S.S. MAINS TO BE LOCATED 5' CLEAR OF ALL OBSTRUCTIONS, POLES, BOXES, CULVERTS, ETC. W.M./S.S. MAINS MUST BE LOCATED 5' FROM TREES. F.H.'S MUST HAVE A 7.5' CLEAR RADIUS.
  - SITE UTILITY CONTRACTOR SHALL COORDINATE W/ THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN BUILDING AND SITE WATER, SEWER AND DRAINAGE LINES VERTICALLY AND HORIZONTALLY.
  - PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW THE BROWARD COUNTY HEALTH DEPARTMENT STANDARDS.
  - ALL SANITARY SEWER LATERALS SHALL CROSS UNDER WATER MAINS WITH A MINIMUM OF 18" SEPARATION. A 20 FOOT SECTION OF DUCTILE IRON PIPE WATER MAIN CENTERED CROSSING IS REQUIRED IF LESS THAN 18" VERTICAL SEPARATION OCCURS BETWEEN THE SEWER LATERAL AND WATER MAIN.
  - ALL UNDERGROUND UTILITIES TO BE REMOVED SHALL BE CAPPED OFF AT THE POINT NEAREST TO THE UTILITIES OR DRAINAGE LINES THAT WILL REMAIN IN SERVICE. NOTIFY THE ENGINEER OF RECORD BEFORE REMOVING ANY UTILITIES THAT ARE CURRENTLY IN SERVICE. THE CONTRACTOR SHALL NOT REMOVE ANY UTILITY SERVICE TO ANY EXISTING BUILDING THAT WILL REMAIN AND SHALL DIG UP AND COMPLETELY REMOVE AND/OR ABANDON ANY UTILITY SERVICE THAT IS NO LONGER REQUIRED. THE CONTRACTOR SHALL INFORM AND CONSULT THE ENGINEER OF RECORD PRIOR TO REMOVING ANY LINES.
  - CONTRACTOR SHALL VERIFY EXISTING WATER MAIN LOCATION AND ELEVATION AND NOTIFY THE ENGINEER OF ANY DIFFERENCE FROM THE DESIGN PRIOR TO CONSTRUCTION AND/OR EXCAVATION.

Sheet Title  
**WATER AND SEWER PLAN**

Job Title  
**HALLANDALE BEACH SHOPS**  
1000-1001 W. HALLANDALE BEACH BOULEVARD  
CITY OF HALLANDALE BEACH, BROWARD COUNTY, FLORIDA 33009

Phase:  
DRC DOCUMENTS

Revisions	Date
08.08.12- REV PER DRC COMMENTS	

Scale:	Date
1"=20.0'	10/20/09

Job No.	Plot Date
09-0865.00	08/08/12

Drawn by	Sheet No.
DRS	<b>C3.0</b>

Proj. Engr.	Appr. by
DRS	DRS

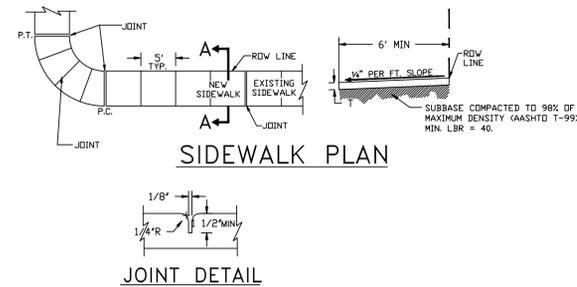
3 of 6



**SUMMARY OF DRAINAGE STRUCTURES**

STRUCTURE #	TYPE	'A'	'B'	'C'	'D'	'E'	'F'	'G'	'H'	U.S.F. # OR EQUAL FRAME	U.S.F. # OR EQUAL GRATE
CB# 1,5,6,7,11	'J'	4'-0" Ø	8"	8"	#4 @ 12" CCEW	#4 @ 12" CCEW	6'-4" Ø	5'-4" Ø	#4 @ 6" CCEW	5115	6220 CAST IRDN
CB#	'J'	5'-0" Ø	8"	8"	#5 @ 12" CCEW	#5 @ 12" CCEW	7'-4" Ø	6'-4" Ø	#5 @ 8" CCEW	4155	6209 CAST IRDN
CB#	'J'	6'-0" Ø	8"	8"	#5 @ 6" CCEW	#5 @ 6" CCEW	8'-4" Ø	7'-4" Ø	#5 @ 6" CCEW	4155	6209 CAST IRDN
CB#	'J'	7'-0" Ø	8"	8"	#5 @ 6" CCEW	#5 @ 6" CCEW	9'-4" Ø	8'-4" Ø	#5 @ 6" CCEW	4155	6209 CAST IRDN
JB# 2-4, 8-11	'J'	4'-0" Ø	8"	8"	#4 @ 12" CCEW	#4 @ 12" CCEW	6'-4" Ø	5'-4" Ø	#4 @ 6" CCEW	420	TYPE 'C'
JB#	'J'	5'-0" Ø	8"	8"	#5 @ 12" CCEW	#5 @ 12" CCEW	7'-4" Ø	6'-4" Ø	#5 @ 8" CCEW	420	TYPE 'C'
JB#	'J'	6'-0" Ø	8"	8"	#5 @ 6" CCEW	#5 @ 6" CCEW	8'-4" Ø	7'-4" Ø	#5 @ 6" CCEW	420	TYPE 'C'
JB#	'J'	7'-0" Ø	8"	8"	#5 @ 6" CCEW	#5 @ 6" CCEW	9'-4" Ø	8'-4" Ø	#5 @ 6" CCEW	420	TYPE 'C'
CB#	'C'	24"	37"							4155	6209 CAST IRDN

NOTE: ALL DRAINAGE STRUCTURES SHALL HAVE A 2' SLUMP



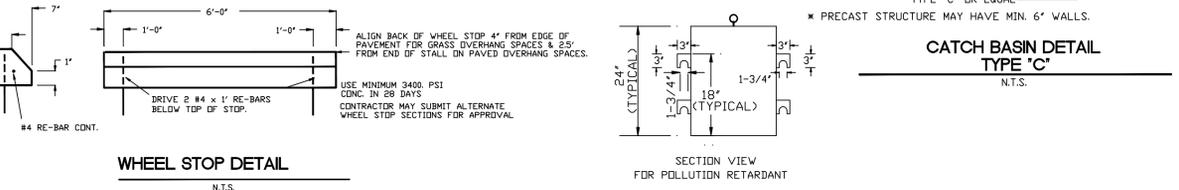
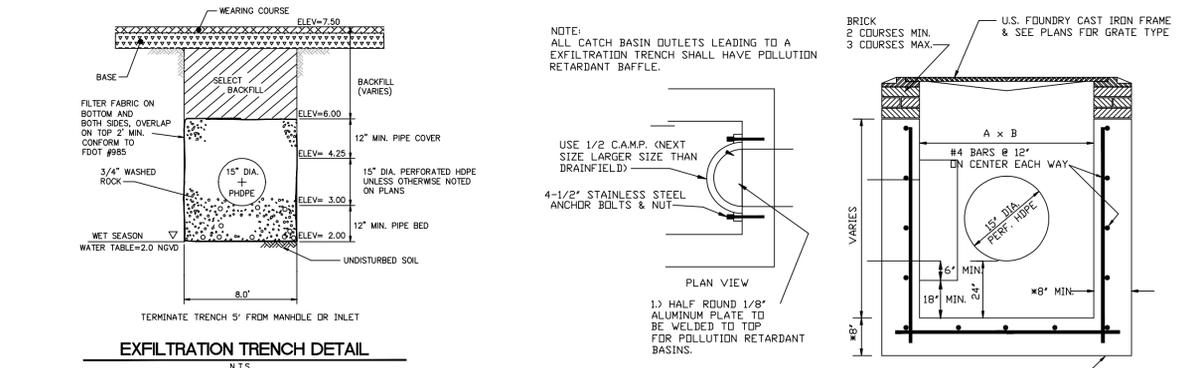
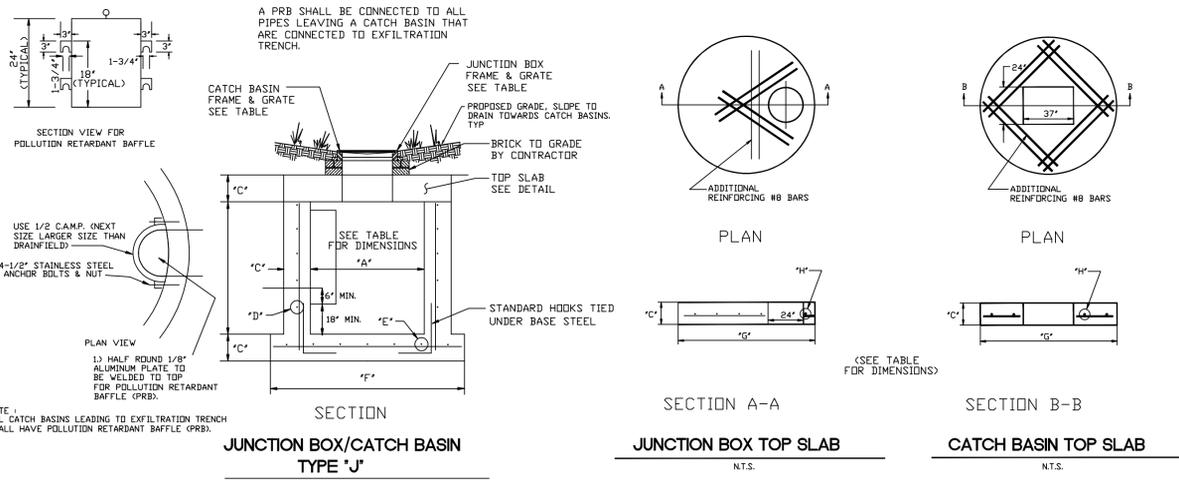
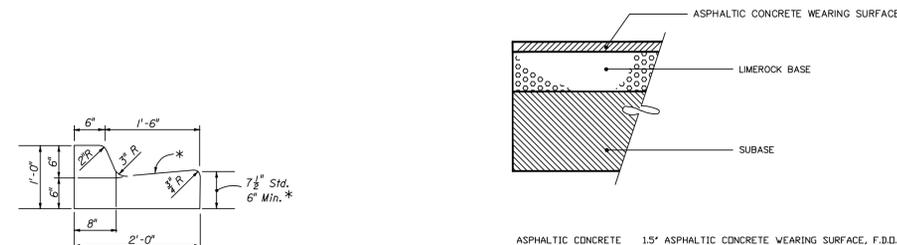
**CONCRETE PAVEMENT & SIDEWALK JOINTS**

TABLE OF SIDEWALK JOINTS	
LOCATION	
P.C. AND P.T. CURVES, JUNCTION OF EXISTING AND NEW SIDEWALKS.	
5'-0" CENTER TO CENTER ON SIDEWALKS.	
15' CENTER TO CENTER MAX. FOR CONCRETE PAVEMENT UNLESS OTHERWISE INDICATED.	

1. PROVIDE 1/8" CONTRACTION JOINTS AT 5' C.C. WITH A MINIMUM DEPTH 1 1/2", EDGED WITH A 1/4" RADIUS DEEP WITHIN THE FOLLOWING TIME PERIODS:  
 JOINTS AT NOT MORE THAN 30' INTERVALS - WITHIN 12 HOURS AFTER FINISHING. REMAINING JOINTS WITHIN 96 HOURS AFTER FINISHING.
2. PROVIDE 6" THICK CONCRETE FOR ALL SIDEWALKS.
3. NO REINFORCEMENTS SHALL BE USED IN THE SIDEWALKS.
4. CONCRETE TO BE 3,000 PSI IN 28 DAYS.
5. CURE ALL CONCRETE WITH CLEAN SAND, PLASTIC MEMBRANE OR OTHER APPROVED METHOD.
6. CONCRETE PAVEMENT FOUNDATION SHALL BE COMPACTED TO A FIRM, EVEN SURFACE, TRUE TO GRADE AND CROSS SECTION, AND SHALL BE MOIST AT THE TIME CONCRETE IS PLACED.
7. ALL CONSTRUCTION SHALL CONFORM TO LOCAL CONSTRUCTION CODES AND STANDARDS.

NOTE: CONCRETE TO BE CLASS-1 3000 P.S.I.

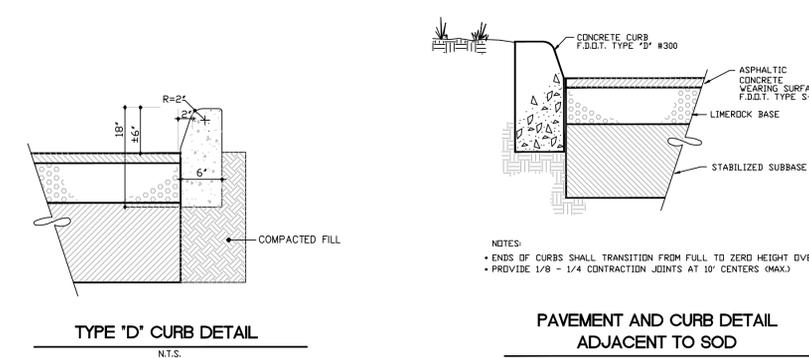
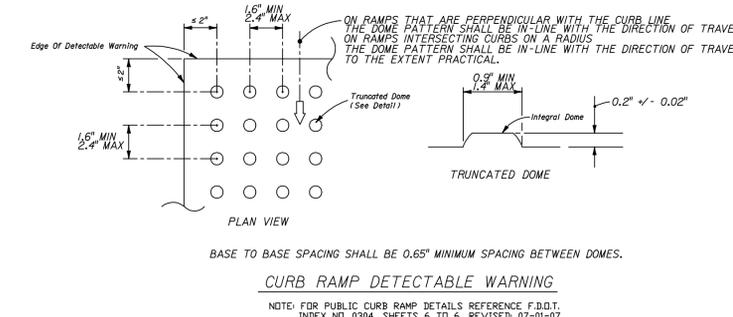
**CONCRETE PAVEMENT & SIDEWALK DETAIL**



	SPACING OF REQUIRED ROADWAY, PARKING AREA AND UTILITY TRENCH TESTS			
	F.B.V.	DENSITY	L.B.R.	THICKNESS
MAX. SPACING	MAX. SPACING	MAX. SPACING	MAX. SPACING	
LN. FEET	SQ. FEET	LN. FEET	SQ. FEET	LN. FEET
COMPACTED OR STABILIZED SURFACE	200	10,000	200	10,000
LIMEROCK BASE	--	--	200	10,000
ASPHALT	--	--	--	PER INSP.
UTILITY TRENCH	--	--	200	--

**COMPACTION TEST SCHEDULE**

N.T.S.



241 COMMERCIAL BLDG.  
 LAUDERDALE BEACH, FL 33308  
 PHONE: (954) 522-1004  
 FAX: (954) 522-7630  
 www.flynnengineering.com  
 EB# 6578

Sheet Title  
**PAVING, GRADING AND DRAINAGE DETAILS**

Job Title  
**HALLANDALE BEACH SHOPS**  
 1000-1001 W. HALLANDALE BEACH BOULEVARD  
 CITY OF HALLANDALE BEACH, BROWARD COUNTY, FLORIDA 33009

Phase:  
**DRG DOCUMENTS**

Revisions

Scale:	Date
NTS	10/20/09
Job No.	Plot Date
09-0865.00	08/08/12
Drawn by	Sheet No.
DRS	<b>C4.0</b>
Proj. Engr.	DRS
DRS	
Appr. by	4 of 6
DRS	

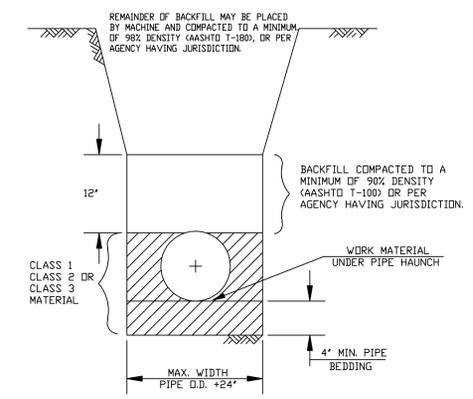
Revisions	

Scale:	Date:
NTS	10/20/09
Job No.	Plot Date
09-0865.00	08/08/12
Drawn by:	Sheet No.
DRS	C5.0
Proj. Engr.	DRS
Appr. by:	5 of 6
DRS	

**POTABLE WATER-SANITARY SEWER-REUSE WATER SEPERATION NOTES:**

THE FOLLOWING STATEMENTS MUST BE INCLUDED ON ALL PLANS FOR SEWAGE COLLECTION/TRANSMISSION/ SYSTEMS TO MEET REQUIREMENTS OF FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION BROWARD COUNTY DEPT. OF NATURAL RESOURCE PROTECTION.

- VERTICAL CROSSINGS:**  
SANITARY SEWER SYSTEMS AND/OR REUSE WATER MAINS SHALL CROSS UNDER POTABLE WATER MAINS WHENEVER PHYSICALLY POSSIBLE. SANITARY SEWER SYSTEMS AND/OR REUSE WATER MAINS CROSSING BELOW POTABLE WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE POTABLE WATER MAIN AND THE CROWN OF THE LOWER PIPE.
- HORIZONTAL SEPARATIONS:**  
WHEREVER IT IS POSSIBLE:  
SANITARY SEWER SYSTEMS REQUIRE A MINIMUM OF A 10 FT. HORIZONTAL SEPARATION DISTANCE BETWEEN ANY POTABLE WATER MAIN PARALLEL INSTALLATIONS.  
REUSE WATER MAINS REQUIRE A MINIMUM OF A 5 FT. CENTER TO CENTER (ABSOLUTE MINIMUM OF 3 FT. OUTSIDE TO OUTSIDE OF PIPE) HORIZONTAL SEPARATION DISTANCE BETWEEN ANY POTABLE WATER MAIN AND/OR A SANITARY SEWER SYSTEM PARALLEL INSTALLATIONS.  
WHEREVER EITHER ARE NOT PHYSICALLY POSSIBLE, THEN THE POTABLE WATER MAIN SHALL BE LAID AT THE MAXIMUM PHYSICAL HORIZONTAL SEPARATION DISTANCE POSSIBLE, AND EITHER LAID:  
A. IN A SEPERATE TRENCH  
B. ON AN UNDISTURBED EARTH SHELF  
WITH A MINIMUM VERTICAL SEPARATION DISTANCE OF 18 INCHES PROVIDED BETWEEN THE INVERT OF THE POTABLE WATER MAIN AND THE CROWN OF THE LOWER PIPE, THUS CONFORMING TO THE MINIMUM VERTICAL CROSSINGS IN PARAGRAPH 1.
- CONFLICTS:**  
WHEREVER IT IS NOT POSSIBLE TO MAINTAIN THE MINIMUM STANDARDS IN 1. AND 2. , THEN ALL PIPING MATERIAL SHALL BE DUCTILE IRON PIPE (DIP). ALL DIP SHALL BE CLASS 50 OR HIGHER. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY THE DESIGN AND SITE CONDITIONS. ADDITIONALLY, ALL JOINTS ON THE POTABLE WATER MAIN, WITHIN 20 FT. OF THE CONFLICT, SHALL BE MECHANICALLY RESTRAINED. AN ABSOLUTE MINIMUM VERTICAL SEPARATION DISTANCE OF 6 INCHES SHALL BE PROVIDED BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE.



- NOTE 1:**  
CLASS 1 MATERIAL - ANGULAR GRADED STONE SUCH AS CORAL, CRUSHED STONE, OR CRUSHED SHELLS OR BEDDING ROCK (100% PASSING 1\"/>

CLASS 2 MATERIAL - COURSE SAND AND GRAVELS WITH MAXIMUM PARTICLE SIZE OF 1/4\"/>

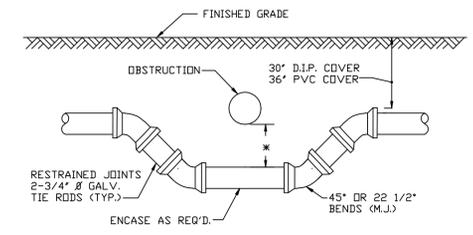
CLASS 3 MATERIAL - FINE SAND AND CLAYEY GRAVELS, INCLUDING FINE SANDS, SAND-CLAY MIXTURES AND GRAVEL-CLAY MIXTURES, COMPACTED TO A MINIMUM OF 90% STANDARD PROCTOR DENSITY. INCLUDED IN CLASS 3 ARE EXISTING SOIL TYPES CLASSIFIED AS SELECT BACKFILL.

IF CLASS 1 MATERIAL IS USED FOR BEDDING, IT MUST BE USED FOR THE ENTIRE EMBEDMENT.

A DRY TRENCH SHALL BE MAINTAINED WHEN USING CLASS 2 AND CLASS 3 MATERIAL.

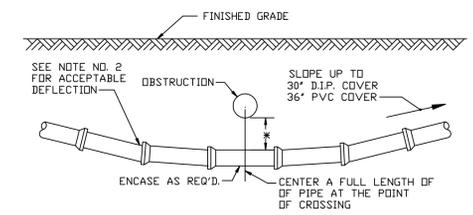
**TRENCH SECTION**  
N.T.S.

PAVEMENT RESTORATION TO BE IN ACCORDANCE WITH FDOT STANDARD INDEX 307 FOR FLEXIBLE PAVEMENT CUT.



**SPECIAL UTILITY CROSSING-FITTING TYPE**

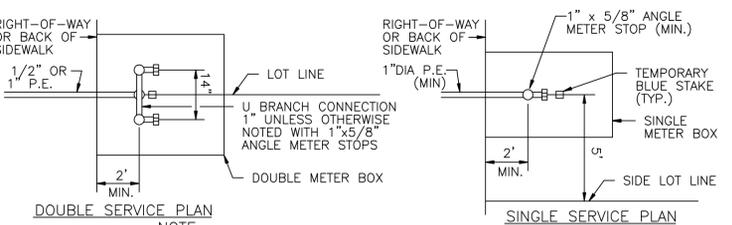
\* 18\"/>



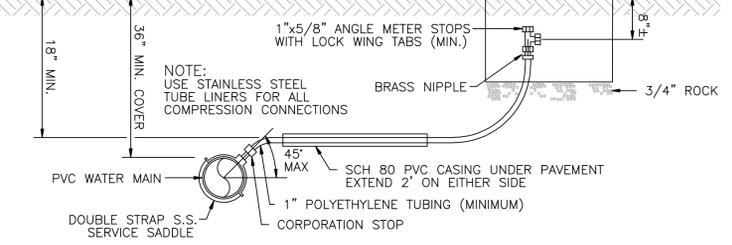
**STANDARD UTILITY CROSSING-DEFLECTION TYPE**

- NOTES:**
- THE DEFLECTION TYPE CROSSING SHALL BE USED WHERE EVER POSSIBLE. ONLY UNDER SPECIFIC ORDERS BY THE ENGINEER SHALL THE FITTING TYPE CROSSING BE ALLOWED.
  - CONSTRUCT STANDARD CROSSING USING 75% OF MANUFACTURERS MAXIMUM JOINT DEFLECTION (MAX).
  - COAT TIE RODS WITH A COAL TAR ENAMEL AFTER ASSEMBLY. (2 COATS MIN.)
  - TIE RODS MAY BE OMITTED WHEN OTHER APPROVED METHODS OF RESTRAINING ARE UTILIZED.

**UTILITY CROSSING**  
N.T.S.

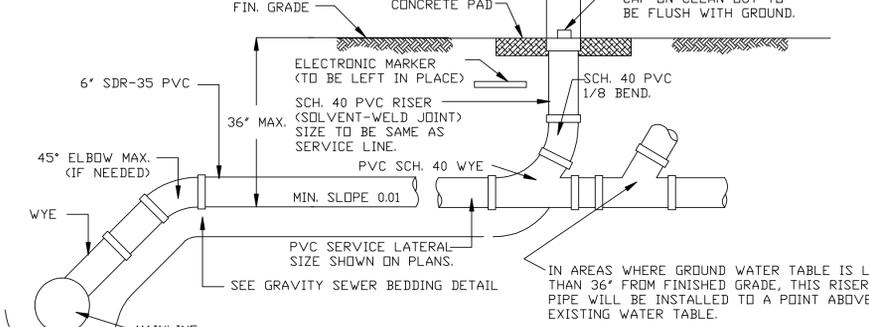


**NOTE:**  
METER AND METER BOX SUPPLIED & INSTALLED BY CITY. BACKFLOW PREVENTER SHALL BE INSTALLED DOWNSTREAM OF METER PER CODE. 18\"/>

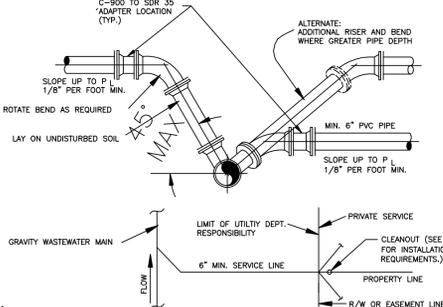
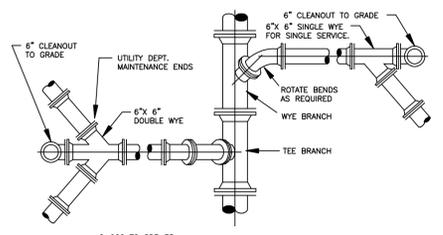


**TYPICAL SINGLE & DOUBLE SERVICE CONNECTION**

\*\* PLACEMENT OF CLEAN-OUTS IN PAVED AREAS SHALL NOT BE PERMITTED WITHOUT SPECIFIC APPROVAL OF ENGINEER. CLEANOUTS IN PAVED AREAS SHALL BE HOUSED IN A STANDARD CAST IRON VALVE BOX.

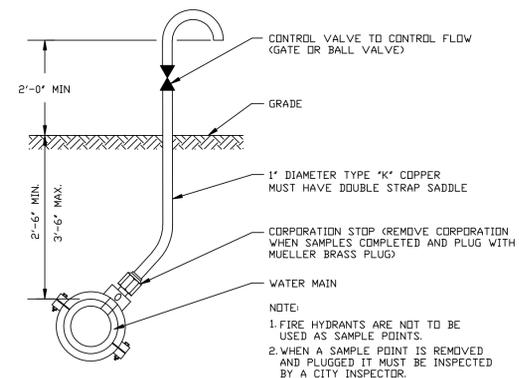


**CLEANOUT DETAIL**  
N.T.S.



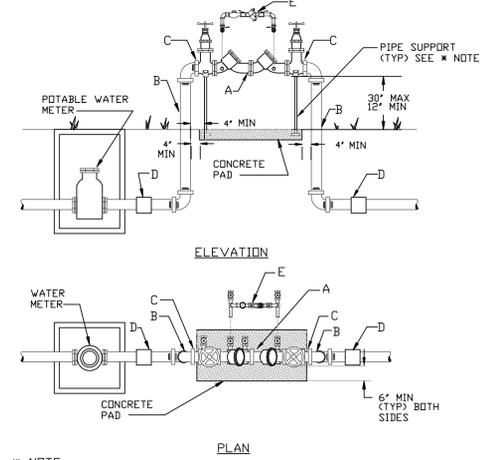
- NOTES:**
- SERVICE LATERALS SHALL TERMINATE AT PROPERTY LINE AT A DEPTH OF 3 FEET.
  - CLEANOUT IS TO BE INSTALLED PER DEPARTMENT STANDARDS PRIOR TO WATER METER INSTALLATION. AN INSPECTION OF CONNECTION INTO THE DEPARTMENTS LATERAL IS REQUIRED PRIOR TO WATER METER RELEASE.
  - WASTEWATER MAIN WYE BRANCH TO MATCH MAIN PIPE MATERIAL.
  - NO 90° BENDS SHALL BE USED FOR WASTEWATER SERVICE AND CLEANOUT INSTALLATION.
  - CLEANOUTS DESIGNATING THE END OF THE DEPARTMENT'S MAINTENANCE RESPONSIBILITY SHALL BE LOCATED WITHIN AN UTILITY EASEMENT OR RIGHT-OF WAY DEDICATED FOR UTILITIES.
  - THE DEVELOPER/PROPERTY OWNER OR ASSIGNEE SHALL BE RESPONSIBLE FOR CLEANOUT INSTALLATION PRIOR TO WATER METER INSTALLATION AS SPECIFIED BY THE DEPARTMENT.

**TYPICAL WASTEWATER SERVICE CONNECTION**  
N.T.S.



**SAMPLING POINT DETAIL**

- NOTE:**
- FIRE HYDRANTS ARE NOT TO BE USED AS SAMPLE POINTS.
  - WHEN A SAMPLE POINT IS REMOVED AND PLUGGED IT MUST BE INSPECTED BY A CITY INSPECTOR.



\* NOTE:  
BACK-FLOW PREVENTION ASSEMBLIES LARGER THAN 2\"/>

PIPE SUPPORTS WILL BE MADE TO CRADLE THE VALVE ON EACH SIDE OF THE CHECK VALVES, WITHOUT INTERFERING WITH THE INSERTION OR REMOVAL OF THE BOLTS ON THE FLANGE.

- REDUCED PRESSURE PRINCIPLE OR DETECTOR DOUBLE-CHECK VALVE OR DOUBLE-CHECK VALVE ASSEMBLY, WITH DS & Y VALVES AS PROVIDED BY MANUFACTURER.
- RISER SHALL BE COPPER PIPE, TYPE K- HARD TEMPER, OR BLACK IRON, OF APPROPRIATE SIZE.
- IF DISSIMILAR METALS ARE USED, THE PIPING WILL BE JOINED TO THE ASSEMBLY WITH A DIELECTRIC COUPLING OR FLANGE TO PREVENT ELECTROLYSIS.
- RISER SHALL BE JOINED TO THE WATER LINE ON THE HORIZONTAL RUN. IF DISSIMILAR METALS ARE INVOLVED, A DIELECTRIC COUPLING WILL BE USED TO PREVENT ELECTROLYSIS.
- METER ASSEMBLY ON THE DETECTOR DOUBLE CHECK VALVE ASSEMBLY ONLY.
- CHAIN AND LOCK DS & Y VALVES IN OPEN POSITION.
- PAINT ALL ABOVE GROUND PIPING AND BACKFLOW PREVENTORS WITH APPROVED PAINT. SUBMIT PAINT SAMPLES TO ARCHITECT FOR APPROVAL.

**DOUBLE CHECK DETECTOR ASSEMBLY AND DOUBLE CHECK BACKFLOW PREVENTER**  
NTS  
2-1/2\"/>

### BROWARD COUNTY TRAFFIC ENGINEERING COMMUNICATION NOTES:

ALL PARTIES SHALL BE AWARE THAT DIRECTIONAL BORES, UTILITY CONNECTIONS, THE PLACEMENT OF MOT AND ADVANCE SIGNAGE MAY, BY THEIR PLACEMENT, DAMAGE/DESTROY THE COMMUNICATIONS CABLE/CONDUIT LOCATED INSIDE/OUTSIDE THE PROJECT AREA. ADDITIONALLY, CURB/UTILITY SIDEWALK REMOVAL/PLACEMENT, RELOCATION OF TREES, LANDSCAPING ACTIVITIES AND IRRIGATION ACTIVITIES ARE POTENTIAL CAUSES FOR DAMAGE TO BCTED'S COMMUNICATIONS CABLE/CONDUIT. ALL PARTIES SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN PROXIMITY TO THE COMMUNICATIONS CABLE/CONDUIT. ANY WORK INCIDENTAL TO THE PROJECT WHICH DAMAGES OR IMPACTS THE COMMUNICATIONS CABLE/CONDUIT SHALL BE SUBJECT TO THE TERMS AND CONDITIONS AS SPECIFIED WITHIN THE PLAN SET UNDER "COMMUNICATION NOTES" AND BCTED'S "STANDARDS AND SPECIFICATIONS - COMMUNICATION INFRASTRUCTURE" DOCUMENT.

THE AGENCY RESPONSIBLE FOR MAINTENANCE OF THE TRAFFIC SIGNALS AND RELATED EQUIPMENT IS BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (BCTED). ALL SYSTEM COMMUNICATIONS EQUIPMENT, CABLING AND RELATED MATERIAL SHALL COMPLY WITH BROWARD COUNTY'S LATEST EDITION OF MINIMUM STANDARDS AS EXPRESSED IN THE "STANDARDS AND SPECIFICATIONS - COMMUNICATION INFRASTRUCTURE" DOCUMENT. BROWARD COUNTY TRAFFIC ENGINEERING DIVISION WILL NOT ACCEPT ANY PROJECTS THAT DO NOT MEET THESE STANDARDS AND SPECIFICATIONS. FOR A COPY OF THESE STANDARDS REFER TO THE BROWARD COUNTY WEB SITE AT WWW.BROWARD.ORG/TRAFFIC OR CONTACT ROBERT BLOUNT, COMMUNICATIONS MANAGER AT RBLOUNT@BROWARD.ORG.

THE CONTRACTOR SHALL MAINTAIN ONLINE COMMUNICATIONS OF EXISTING OR TEMPORARY SIGNALIZATION VIA INTERNET COMMUNICATIONS CABLE OR TELCO PHONE LINES DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE TEMPORARY LINES AND CONNECTIONS AS NECESSARY. A TIME-BASED-COORDINATION (TBC) SYSTEM IS TO BE UTILIZED ONLY IF PROVISION OF THE TEMPORARY LINES AND CONNECTIONS AS NECESSARY. A TIME-BASED-COORDINATION (TBC) SYSTEM IS TO BE UTILIZED ONLY IF PROVISION OF THE TEMPORARY LINES IS NOT FEASIBLE. THE DEVELOPMENT AND IMPLEMENTATION OF THE TBC PROGRAM IS TO BE PERFORMED BY THE CONTRACTOR WITH OVERSIGHT BY A TRAFFIC ENGINEER REGISTERED IN THE STATES OF FLORIDA. COST OF MAINTAINING COMMUNICATIONS WITH THE CENTRAL SITE, INCLUDING TEMPORARY LINES AND CONNECTIONS, SHALL BE PAID FOR UNDER THE MAINTENANCE OF TRAFFIC. ALL REPORTED MALFUNCTIONS OF THE COMMUNICATIONS SYSTEM SHALL BE RESPONDED TO BY THE CONTRACTOR WITHIN TWO HOURS AND SHALL BE REPAIRED WITHIN TWENTY-FOUR HOURS.

THE CONTRACTOR SHALL BE AWARE THAT BELL/SOUTH TELEPHONE DROPS AND SYSTEM COMMUNICATIONS INTERCONNECT MAY EXTEND THROUGHOUT THE PROJECT. CABLE RUNS AND/OR CONDUIT, TELEPHONE INTERFAS EQUIPMENT, PULL/JUNCTION BOXES AND ANY OTHER SIGNAL OR OTHER SYSTEMS EQUIPMENT DAMAGED BY THE CONTRACTOR SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. DAMAGED COMMUNICATIONS CABLE SHALL BE REPLACED AS AN ENTIRE RUN, FROM JUNCTION POINT TO JUNCTION POINT AND SHALL BE INSTALLED IN JUNCTION BOXES AND CONNECTIONS AS NECESSARY. THE DEVELOPMENT AND IMPLEMENTATION OF THE TBC PROGRAM IS TO BE PERFORMED BY THE CONTRACTOR WITH OVERSIGHT BY A TRAFFIC ENGINEER REGISTERED IN THE STATES OF FLORIDA. COST OF MAINTAINING COMMUNICATIONS WITH THE CENTRAL SITE, INCLUDING TEMPORARY LINES AND CONNECTIONS, SHALL BE PAID FOR UNDER THE MAINTENANCE OF TRAFFIC. ALL REPORTED MALFUNCTIONS OF THE COMMUNICATIONS SYSTEM SHALL BE RESPONDED TO BY THE CONTRACTOR WITHIN TWO HOURS AND SHALL BE REPAIRED WITHIN TWENTY-FOUR HOURS.

ANY MATERIAL FURNISHED FOR THE PURPOSES OF: NEW INSTALLATION, REPLACEMENT OR REPAIR OF THE EXISTING COMMUNICATIONS INFRASTRUCTURE SHALL MEET THE STANDARDS AND SPECIFICATIONS OF BCTED; ANY SUPPLIED CONTROLLER CABINET, CONTROLLER, TELEMETRY UNIT, COMMUNICATIONS CABLE, PULL BOX, CONDUIT, TERMINATION DEVICE, JUNCTION BOX AND COMMUNICATIONS INTERFACE PANEL SHALL COMPLY WITH THE LATEST REQUIREMENTS AS STATED BY BCTED AND SHALL PROVIDE FOR FULL FUNCTIONALITY WITH THE EXISTING BCTED'S UTCS OPERATION.

### PROCEDURE FOR NOTIFICATION OF COMMUNICATION DISRUPTION:

WHEN COMMUNICATIONS TO AN INTERSECTION MUST BE DISRUPTED BY A CONTRACTOR TO PERFORM WORK, THE CONTRACTOR SHALL PROVIDE AN ADVANCE TWO-DAY NOTICE IN WRITING TO THE BROWARD COUNTY TRAFFIC ENGINEERING DIVISION. THIS NOTIFICATION SHALL BE CONVERTED VIA ELECTRONIC MAIL (EMAIL) TO THE COMMUNICATIONS MANAGER AT RBLOUNT@BROWARD.ORG. NOTIFICATION SHALL INCLUDE CONTACT PERSON, TELEPHONE NUMBER, PURPOSE, LOCATION AND DURATION. THE DISRUPTION SHALL LAST FOR NO MORE THAN 3 CONSECUTIVE BUSINESS DAYS, WHERE POSSIBLE, THE DISRUPTION SHALL BE AT OFF PEAK HOURS BEGINNING AT 9:00AM AND ENDING AT 3:00PM.

ALL BCTED COMMUNICATIONS CABLE/CONDUIT SHALL BE LOCATED A MINIMUM OF 48 HOURS IN ADVANCE.

#### I. GENERAL NOTES

##### A. APPLICABLE CODES

- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY, COUNTY AND STATE.
- CONSTRUCTION SAFETY - ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER. SPECIFIC RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SHALL BE STRICTLY OBSERVED.
- THE CONTRACTOR SHALL BE REQUIRED TO COMPLY WITH CHAPTER 90-96 OF THE LAWS OF FLORIDA (THE TRENCH SAFETY ACT) AND DSHA STANDARDS 29 C.F.R. SECTION 1906.650 SUBPART P. THE CONTRACTOR SHALL SUBMIT WITH HIS CONTRACT A COMPLETED, SIGNED, AND NOTARIZED COPY OF THE TRENCH SAFETY ACT COMPLIANCE STATEMENT. THE CONTRACTOR SHALL ALSO SUBMIT A SEPARATE COST ITEM IDENTIFYING THE COST OF COMPLIANCE WITH THE APPLICABLE TRENCH SAFETY CODES.
- NO CONSTRUCTION MAY COMMENCE UNTIL THE APPROPRIATE PERMITS HAVE BEEN OBTAINED FROM ALL LOCAL, STATE AND FEDERAL AGENCIES.

##### B. RECONSTRUCTION RESPONSIBILITIES

- UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES. ALL AFFECTED UTILITY OWNERS, THE ENGINEER AND THESEMYSELF.
- THE CONTRACTOR SHALL OBTAIN AN SUNSHINE STATE ONE CALL OF FLORIDA CERTIFICATION NUMBER AT LEAST 48 HOURS PRIOR TO PRIOR TO BEGINNING ANY EXCAVATION.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH HE FAILS TO REQUEST LOCATIONS FROM THE UTILITY OWNER. HE IS RESPONSIBLE AS WELL FOR DAMAGE TO ANY EXISTING UTILITIES WHICH ARE PROPERLY LOCATED.
- IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN IN THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.

##### C. INSPECTIONS

- THE OWNER, ENGINEER, AND LOCAL PERMITTING AGENCIES MAY MAKE INSPECTIONS OF THE WORK AT ANY TIME. THE CONTRACTOR SHALL COOPERATE FULLY WITH ALL INSPECTIONS.

##### D. SHOP DRAWINGS

- THE CONTRACTOR SHALL SUBMIT (5) FIVE SETS OF SHOP DRAWINGS FOR APPROVAL. APPROVAL OF RECORD PRIOR TO CONSTRUCTION FOR ALL MATERIALS USED ON THE PROJECT. APPROVED SHOP DRAWINGS FROM THE ENGINEER SHALL BE SUBMITTED BY THE CONTRACTOR TO THE COUNTY OR CITY FOR THEIR APPROVAL. NO CONSTRUCTION SHALL COMMENCE UNTIL THE APPROVED SHOP DRAWINGS HAVE BEEN RECEIVED BY THE CONTRACTOR FROM THE ENGINEER, CITY, AND/OR COUNTY.
- INDIVIDUAL SHOP DRAWINGS FOR ALL PRECAST STRUCTURES ARE REQUIRED. CATALOG LITERATURE WILL NOT BE ACCEPTED FOR PRECAST STRUCTURES.

##### E. TEMPORARY FACILITIES

- TEMPORARY UTILITIES - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY TO HIS EMPLOYEES AND SUBCONTRACTORS FOR THEIR USE DURING CONSTRUCTION.
- TRAFFIC REGULATION - MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE MUTCD AND THE TPO STANDARD SPECIFICATIONS.
- ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC. NO HOLES SHALL BE LEFT OPEN OVERNIGHT.

##### F. PRODUCT SITE

- DURING CONSTRUCTION THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED CLEAN AND MATERIAL SHALL BE SWEEP BROAD CLEAN UP. THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEP BROAD CLEAN.
- THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AS DIRECTED BY THE ENGINEER ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS WORK, EQUIPMENT, EMPLOYEES OR THAT OF HIS SUBCONTRACTORS TO THAT ORIGINAL CONDITION. THE CONTRACTOR SHALL RESTORE ALL EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY HIGHWAY OR DRIVEWAY, WALK, AND LANDSCAPING WORK. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.
- WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, THE MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.

##### G. PROJECT RECORD DOCUMENTS

- THE CONTRACTOR SHALL MAINTAIN ACCURATE AND COMPLETE RECORDS OF WORK ITEMS COMPLETED. INFORMATION RELATIVE TO MANHOLES, VALVES, SERVICES, FITTINGS, LENGTH OF PIPE, INVERT ELEVATIONS, FINISHED GRADE ELEVATIONS AND THE LIKE, SHALL BE ACCURATELY RECORDED BY THE CONTRACTOR. TOP ELEVATIONS @ 100' D.C.
- PRIOR TO THE PLACEMENT OF ANY ASPHALT OR CONCRETE PAVEMENT, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD "AS-BUILT" PLANS SHOWING LIMEROCK BASE GRADES, ALL DRAINAGE, WATER, AND SEWER IMPROVEMENTS. PAVING OPERATIONS SHALL NOT COMMENCE UNTIL THE ENGINEER HAS REVIEWED THE "AS-BUILTS" AND THE ENGINEER HAS APPROVED PAVING TO COMMENCE.
- ALL REQUIRED DENSITY AND LBR TEST RESULTS FOR SUBGRADE BASE MATERIAL.
- ALL REQUIRED DENSITY AND LBR TEST RESULTS FOR LIMEROCK SHALL BE PROVIDED TO THE ENGINEER PRIOR TO PLACING ASPHALT.
- ALL "AS-BUILT" INFORMATION SUBMITTED TO THE ENGINEER SHALL BE SUFFICIENTLY ACCURATE, CLEAR AND LEGIBLE. THE ENGINEER AND ANY APPLICABLE REVIEWING AGENCY THAT THE INFORMATION PROVIDES A TRUE REPRESENTATION OF THE IMPROVEMENTS CONSTRUCTED.
- UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD FIVE COMPLETE SETS OF "AS-BUILT" CONSTRUCTION DRAWINGS (PRINTS) AND ONE MYLAR ORIGINAL. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONED LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS AND SHALL BE SIGNED BY THE CONTRACTOR.
- ALL "AS-BUILT" INFORMATION ON ELEVATIONS OF PAVING, DRAINAGE, WATER, AND SEWER SHALL BE CERTIFIED BY A REGISTERED LAND SURVEYOR.
- ALL AS-BUILT INFORMATION MUST BE PROVIDED IN AUTOCAD® RELEASE 2000 DR LATER FORMAT.

##### H. EARTHWORK

- NONE OF THE EXISTING MATERIAL IS TO BE INCORPORATED IN THE LIMEROCK BASE.
- ALL SUBGRADE UNDER PAVED AREAS SHALL HAVE A MINIMUM LBR VALUE OF 40 AND SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
- ALL FILL MATERIAL IN AREAS NOT TO BE PAVED SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- ALL ORGANIC AND OTHER UNSUITABLE MATERIAL WITHIN WORK LIMITS AND SMALE AREAS SHALL BE REMOVED.

#### I. PAVING

- TESTING - REQUIRED, ASPHALT AND LIMEROCK TESTS SHALL BE TAKEN AT THE DIRECTION OF THE ENGINEER OR THE LOCAL GOVERNMENT AGENCY.
- GENERAL UTILITY NOTES
  - THE LOCATION AND SIZE OF ALL EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION (VERTICAL & HORIZONTAL) OF ANY EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. ANY AND ALL CONFLICTS OR DISCREPANCIES OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS OF CONSTRUCTION DRAWINGS SHALL BE RESOLVED BY THE ENGINEER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITIES SHOWN OR FOR ANY EXISTING UTILITIES NOT SHOWN.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES IF APPLICABLE:
    - FLORIDA POWER AND LIGHT COMPANY/SUTHERN BELL-LOCAL GAS AND SEWER UTILITY COMPANY(S)-LOCAL CABLE TELEVISION COMPANY(S)-LOCAL CITY ENGINEERING DEPARTMENT-FLORIDA DEPARTMENT OF TRANSPORTATION-SUNSHINE STATE ONE CALL OF FLORIDA-1-800-477-6247
    - FOR STREET EXCAVATION OR CLOSING
    - FOR STREET EXCAVATION OR CLOSING
    - FIRE DISPATCH
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF EXISTING PAVEMENT, PIPES, CONDUITS, CABLES, ETC., AND LANDSCAPED AREAS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS. THESE REPAIRS SHALL BE DONE AT HIS SUBCONTRACTORS' AND SHALL RESTORE THEM PROMPTLY. THIS REPAIR SHALL BE DONE AT NO EXPENSE TO THE OWNER OF THE DAMAGED UTILITY OR PROPERTY.
  - COORDINATE CONSTRUCTION SCHEDULING FOR CONNECTION TO THE EXISTING WATER AND SEWER LINES WITH THE CITY UTILITY DEPARTMENT.
  - ALL PAVEMENT RESTORATION TO BE MADE IN ACCORDANCE WITH THE CITY COUNTY OR STATE OF FLORIDA D.D.T. STANDARD SPECIFICATIONS, WHERE APPLICABLE.
  - PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL SUPPLY THE ENGINEER OF RECORD WITH THE CERTIFICATION THAT ALL CONSTRUCTION AND MATERIALS MEET THE DESIGN AND DESIGN INTENT HAS BEEN INSTALLED PER THE DRAWINGS AND/OR AS-BUILT DRAWINGS.
  - THE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CITY ENGINEERS IN THE AREA AND ANY OTHER UNDERGROUND CONDUIT REQUIRED FOR FPL, SOUTHERN BELL, IRRIGATION SYSTEM, ETC., PRIOR TO BEGINNING SUBGRADE. THE CONTRACTOR SHALL COORDINATE RELATIONSHIP OF ALL EXISTING UTILITIES WITH APPLICABLE UTILITY COMPANIES.
  - NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN OVERNIGHT WITHOUT WRITTEN PERMISSION OF THE CITY OR OWNER.
  - THE CONTRACTOR MUST NOTIFY FLYNN ENGINEERING SERVICES, P.A. PRIOR TO STARTING EACH PHASE OF ANY UNDERGROUND UTILITY WORK OR PAVING AND GRADING OPERATIONS SO THAT THE PROPER INSPECTIONS MAY BE SCHEDULED.

##### K. SURVEY INFORMATION

- SURVEY DATA - ALL ELEVATIONS ON THE PLANS OR REFERENCED IN THE SPECIFICATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929 NGVD.
- SURVEY INFORMATION BASED ON SURVEY BY COUSINS SURVEYORS & ASSOC. INC. DATED 10/05/07 (PROJECT 5702-06).

##### L. CONSTRUCTION SPECIFICATIONS

##### A. GENERAL

- IT IS THE INTENT OF THESE SPECIFICATIONS TO DESCRIBE THE MINIMUM ACCEPTABLE TECHNICAL REQUIREMENTS FOR THE MATERIALS AND WORKMANSHIP FOR CONSTRUCTION OF SITE IMPROVEMENTS FOR THIS PROJECT. SUCH IMPROVEMENTS SHALL GENERALLY INCLUDE, BUT NOT BE LIMITED TO, CLEARING, GRADING, PAVING, REMOVAL OF EXISTING PAVEMENT, AND STORM DRAINAGE.
- IT IS THE INTENT THAT THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DATED 2007, TOGETHER WITH SUPPLEMENTAL SPECIFICATIONS TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION BE USED WHERE APPLICABLE FOR THE VARIOUS WORK, AND THAT WHERE SUCH WORKING THEREIN REFERS TO THE STATE OF FLORIDA AND ITS DEPARTMENT OF TRANSPORTATION AND PERSONNEL, SUCH WORKING IS INTENDED TO BE REPLACED WITH THE WORKING WHICH WOULD PROVIDE PROPER TERMINOLOGY THEREIN MAKING SUCH "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AS THE "STANDARD SPECIFICATIONS" FOR THIS PROJECT. IF WITHIN A PARTICULAR SECTION, ANOTHER SECTION, ARTICLE OR PARAGRAPH IS REFERRED TO, IT SHALL BE PART OF THE STANDARD SPECIFICATIONS ALSO. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL AND STATE LAWS, REGULATIONS AND BUILDING CODES WHICH HAVE JURISDICTION IN THE AREA.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT AND PERFORM ALL OPERATIONS REQUIRED TO COMPLETE THE CONSTRUCTION OF A PAVING, DRAINAGE, WATER AND SEWER SYSTEM AS SHOWN ON THE PLANS, SPECIFIED HEREIN, OR BOTH. IT IS THE INTENT TO PROVIDE A COMPLETE AND OPERATING FACILITY IN ACCORDANCE WITH THESE SPECIFICATIONS AND THE CONSTRUCTION DRAWINGS. THE MATERIAL AND EQUIPMENT SHOWN OR SPECIFIED SHALL NOT BE TAKEN TO EXCLUDE ANY OTHER INCIDENTALS NECESSARY TO COMPLETE THE WORK.
- ALL LABOR, MATERIALS, AND METHODS OF CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE PLANS AND CONSTRUCTION SPECIFICATIONS AND THE MINIMUM ENGINEERING AND CONSTRUCTION STANDARDS ADOPTED BY THE UNIT OF GOVERNMENT WHICH HAS JURISDICTION AND RESPONSIBILITY FOR THE CONSTRUCTION. WHERE CONFLICTS OR OMISSIONS EXIST, THE JURISDICTIONAL GOVERNMENT ENGINEERING DEPARTMENT'S STANDARDS SHALL GOVERN. SUBSTITUTIONS AND DEVIATIONS FROM PLANS AND SPECIFICATIONS SHALL BE PERMITTED ONLY WHEN WRITTEN APPROVAL HAS BEEN ISSUED BY THE ENGINEER.
- GUARANTEE - ALL MATERIALS AND EQUIPMENT TO BE FURNISHED AND/OR INSTALLED BY THE CONTRACTOR UNDER THIS CONTRACT, SHALL BE GUARANTEED FOR A PERIOD OF (1) ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE THEREOF, AGAINST DEFECTIVE MATERIALS, DESIGN AND WORKMANSHIP. UPON RECEIPT OF NOTICE FROM THE OWNER OF FAILURE OF ANY PART OF THE GUARANTEED MATERIALS, DESIGN AND WORKMANSHIP, THE CONTRACTOR SHALL, AT THE AFFECTED PART OR MATERIALS SHALL BE REPLACED PROMPTLY WITH NEW PARTS OR MATERIALS BY THE CONTRACTOR, AT NO EXPENSE TO THE OWNER. IN THE EVENT THE CONTRACTOR FAILS TO MAKE NECESSARY REPLACEMENT OR REPAIRS WITHIN (7) SEVEN DAYS AFTER NOTIFICATION BY THE OWNER, THE OWNER MAY ACCOMPLISH THE WORK AT THE EXPENSE OF THE CONTRACTOR.

##### E. CONSTRUCTION

- CONCRETE SIDEWALK SHALL BE 4" THICK ON COMPACTED SUBGRADE, WITH 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM 30' ON CENTER. CRACK CONTROL JOINTS SHALL BE 2" ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL BE 3" HIGHER THAN THE EDGE OF PAVEMENT UNLESS OTHERWISE SPECIFIED BY LOCAL CODES OR SHOWN ON THE DRAWINGS. ALL CONCRETE SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK AND HAVE A MINIMUM OF 3000 P.S.I. CONCRETE.
- CONCRETE CURB SHALL BE CONSTRUCTED TO THE LIMITS SHOWN ON THE PLANS. THE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS AND SHALL BE IN ACCORDANCE WITH SECTION 345 OF THE STANDARD SPECIFICATIONS.

#### B. EARTHWORK

- ALL AREAS WITHIN THE LIMITS OF WORK SHALL BE CLEARED AND GROUBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH AND ALL OTHER OBSTRUCTIONS RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXISTING GROUND TO A DEPTH OF 1' ITEMS DESIGNATED TO BE REMOVED OR TO BE RELOCATED TO BE ADJUSTED SHALL BE SO DESIGNATED ON THE DRAWINGS. ALL WORK SHALL BE IN ACCORDANCE WITH SECTION 110 OF THE STANDARD SPECIFICATIONS.
- FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3, OR A-2-4 IN ACCORDANCE WITH AASHTO M-145 AND SHALL BE FREE FROM VEGETATION AND ORGANIC MATERIAL, NOT MORE THAN 10% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
- ALL MATERIAL OF CONSTRUCTION SHALL BE SUBJECT TO INSPECTION AND TESTING TO ESTABLISH CONFORMANCE WITH THE SPECIFICATIONS AND SUITABLE FOR THE USES INTENDED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 24 HOURS PRIOR TO THE TIME HE WILL BE READY FOR AN INSPECTION OR TEST. THE CONTRACTOR SHALL FOLLOW CITY AND COUNTY INSPECTION PROCEDURES. THE CONTRACTOR SHALL NOT PROCEED WITH ANY PHASE OF WORK DEPENDENT ON AN INSPECTION OR TEST OF AN EARLIER PHASE OF WORK, PRIOR TO THAT TEST OR INSPECTION PASSING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF ANY CERTIFICATION BY THE ENGINEER. TEST RESULTS MUST INCLUDE, BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE AND LIMEROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONCRETE CYLINDERS, ETC.
- WHEN ENCOUNTERED, MUCK SHALL BE COMPLETELY REMOVED FROM THE CENTER LINE (10) TEN FEET BEFORE THE EDGE OF PAVEMENT EACH SIDE. SUCH APPLICATION SHALL BE REPLACED BY GRANULAR FILL, COMPACTED TO 98% OF MAXIMUM DENSITY (AASHTO T-180).
- WHEN ENCOUNTERED WITHIN DRAINAGE SWALES, HARDPAN OR MUCK SHALL BE REMOVED TO A DEPTH OF FIVE FEET AT THE INVERT AND REPLACED WITH GRANULAR MATERIALS.
- ALL UNDERGROUND UTILITIES AND DRAINAGE INSTALLATIONS SHALL BE IN PLACE PRIOR TO SUBGRADE CONSTRUCTION AND PAVEMENT CONSTRUCTION.
- GROUND ADJACENT TO ROADWAY/PAVEMENT HAVING RUNOFF SHALL BE GROUBED DURING CONSTRUCTION ON THE EDGE OF PAVEMENT TO ALLOW FOR THE PLACEMENT OF SOD.
- SITE GRADING ELEVATIONS SHALL BE WITHIN 0.1' OF THE REQUIRED ELEVATION AND ALL AREAS SHALL BE GRADED TO DRAIN TOWARD PONDING.
- THE CONTRACTOR SHALL PERFORM ALL EXCAVATION, FILL, EMBANKMENT AND GRADING TO ACHIEVE THE PROPOSED PLAN GRADES INCLUDING TYPICAL ROAD SECTIONS, SIDE SLOPES AND CANAL CONSTRUCTION AND VERTICAL CURVES IN ACCORDANCE WITH SECTION 100 OF THE STANDARD SPECIFICATIONS. IF FILL MATERIAL IS REQUIRED IN EXCESS OF THAT GENERATED BY THE EXCAVATION, THE CONTRACTOR SHALL SUPPLY THIS MATERIAL AS REQUIRED FROM OFF-SITE.

##### C. DRAINAGE

- INLETS - ALL INLETS SHALL BE THE TYPE DESIGNATED ON THE PLANS, AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. INLETS AND PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF DEBRIS OR PLUGS. THE ENTIRE DRAINAGE SYSTEM SHALL BE CLEANED OF ALL DEBRIS PRIOR TO FINAL ACCEPTANCE.
- PIPE SPECIFICATIONS - THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS:
  - RCP = REINFORCED CONCRETE PIPE, ASTM DESIGNATION C-776, TABLE 11.1, D.D.T. SECTION 945
  - CMP = COATED METAL ALUMINUM PIPE, ASTM DESIGNATION M-196
  - CMP (SMOOTH LINED) = CORRUGATED METAL ALUMINUM PIPE, (SMOOTH LINED) ASTM DESIGNATION M-196
  - SCP = SLOTTED CONCRETE PIPE, F.D.D.T. SECTIONS 941 AND 942
  - PVC = POLYVINYL CHLORIDE PIPE, F.D.D.T. SECTION 945
  - POCP = PERFORATED CMP, F.D.D.T. SECTION 945
- PIPE BACKFILL REQUIREMENTS FOR PIPE BACKFILL CROSSING ROADS OR PARKING AREAS SHALL BE AS DEFINED IN THE FLORIDA D.D.T. SPECIFICATIONS, 2007, SECTION 125-8. PIPELINE BACKFILL SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY TO 100% OF THE STANDARD PROCTOR (AASHTO T-99) SPECIFICATIONS.
- LOCATION OF DRAINAGE STRUCTURES SHALL GOVERN, AND PIPE LENGTH MAY HAVE TO BE ADJUSTED TO ACCOMPLISH CONSTRUCTION AS SHOWN ON THESE PLANS.
- PLASTIC FILTER FABRIC SHALL BE MIRAFIT, TYPAR OR EQUAL MEETING THE REQUIREMENTS OF ASTM/AWWA C-110/A21.4-03. 4" DIP SHALL BE CLASS 350, 6" AND 8" DIP SHALL BE CLASS 350, AND 10" DIP SHALL BE CLASS 350. MINIMUM DEPTH OF COVER IS 36" FOR PVC AND 30" FOR DIP. ALL PIPE TO HAVE 130 PSI MINIMUM PRESSURE RATING. FITTINGS 4" AND LARGER SHALL BE DUCTILE IRON MEETING ANSI/AWWA C-110/A21.10-03. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER C-104/A21.4-03. 4-03 PRESSURE RATING OF ALL FITTINGS SHALL BE 130 PSI. WATER MAIN PIPES WITHIN THE CITIES RIGHT-OF-WAY OR EASEMENT SHALL BE DUCTILE IRON PIPE CLASS 350. SOLENT WELD SOCKET TYPE ASTM D-2464 OR MINIMUM AND PRESSURE TESTED @ 200 PSI FOR 2 HRS.
- WHERE NEW ASPHALT MEETS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
- INTERNAL ASPHALT PAVING CONSTRUCTED ON EXISTING SANDY SOILS SHALL BE CONSTRUCTED WITH A 1" SUBGRADE. THE MINIMUM DENSITY OF 100% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99. THE COMPACTED SUBGRADE SHALL BE CONSTRUCTED IN THE LIMITS SHOWN ON THE PLANS. ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED.
- ASPHALTIC CONCRETE SURFACE COURSE SHALL BE CONSTRUCTED TO THE LIMITS SHOWN ON THE PLANS. THE SURFACE COURSE SHALL CONSIST OF THE THICKNESS AND TYPE ASPHALTIC CONCRETE AS SPECIFIED IN THE PLANS. ALL ASPHALTIC CONCRETE SHALL BE IN ACCORDANCE WITH SECTIONS 300, 300, 331, 332, 333, 335, 337 AND 339 OF THE STANDARD SPECIFICATIONS.
- LIMEROCK BASE SHALL BE PREPARED, COMPACTED AND GRADED AND SHALL BE IN ACCORDANCE WITH SECTION 300 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (OR ROAD AND BRIDGE CONSTRUCTION, 2007 EDITION). ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 AND HAVE NOT LESS THAN 70% OF GRANOMETS OF CALCIUM AND MAGNESIUM UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED THE ENGINEER SHALL INSPECT THE COMPLETE BASE COURSE AND THE CONTRACTOR SHALL CORRECT ANY DEFICIENCIES AND CLEAN THE BASE COURSE PRIOR TO THE PLACEMENT OF THE PRIME COAT. A TACK COAT WILL ALSO BE REQUIRED IF THE ENGINEER FINDS THAT THE PRIME BASE HAS BECOME EXCESSIVELY DIRTY OR THE PRIME COAT HAS CURED TO THE EXTENT OF LOSING BOUNDING EFFECT PRIOR TO PLACEMENT OF THE ASPHALTIC CONCRETE SURFACE COURSE. THE PRIME AND TACK COATS SHALL BE IN ACCORDANCE WITH SECTION 300 OF THE STANDARD SPECIFICATIONS.
- LIMEROCK BASE MATERIAL SHALL BE PLACED IN MAXIMUM 6' LIFTS. BASES GREATER THAN 6" SHALL BE PLACED IN TWO EQUAL LIFTS.
- ASPHALT EDGES THAT ARE NOT CURBED SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE TO THE DIMENSIONS SHOWN ON THE HORIZONTAL CONTROL PLAN.

##### E. CONSTRUCTION

- CONCRETE SIDEWALK SHALL BE 4" THICK ON COMPACTED SUBGRADE, WITH 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM 30' ON CENTER. CRACK CONTROL JOINTS SHALL BE 2" ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL BE 3" HIGHER THAN THE EDGE OF PAVEMENT UNLESS OTHERWISE SPECIFIED BY LOCAL CODES OR SHOWN ON THE DRAWINGS. ALL CONCRETE SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK AND HAVE A MINIMUM OF 3000 P.S.I. CONCRETE.
- CONCRETE CURB SHALL BE CONSTRUCTED TO THE LIMITS SHOWN ON THE PLANS. THE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS AND SHALL BE IN ACCORDANCE WITH SECTION 345 OF THE STANDARD SPECIFICATIONS.

#### F. SIGNAGE AND PAVEMENT MARKINGS

- THE ROADS AND PARKING AREAS SHALL BE STRIPED IN ACCORDANCE WITH THE PLANS. NO STRIPE SHALL BE LESS THAN THE SPECIFIED WIDTH. NOR SHALL IT EXCEED THE SPECIFIED WIDTH BY MORE THAN 1/2" INCH. STRIPING SHALL BE IN ACCORDANCE WITH SECTIONS 710 AND 971 OF THE STANDARD SPECIFICATIONS. ALL STRIPING WITHIN THE PUBLIC RIGHT-OF-WAY AND AT DRIVEWAY ACCESS POINTS SHALL BE THERMOPLASTIC IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL AND MAINTAIN ADEQUATE TRAFFIC CONTROL DEVICES, MARKINGS AND BARRIERS FOR THE PURPOSE OF PROTECTING THE TRAVELING PUBLIC. HIS WORKMEN AND THE WORK AREA IN GENERAL, SUCH TRAFFIC CONTROL SHALL BE MAINTAINED FOR THE SUSPENSIONS OF THE WORK. MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH SECTION 100 OF THE STANDARD SPECIFICATIONS AND THE STATE OF FLORIDA, MANUAL OF TRAFFIC CONTROL AND SAFETY PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS.
- ALL PAVEMENT MARKINGS ON-SITE SHALL BE THERMOPLASTIC UNLESS OTHERWISE NOTED.
- ALL SIGNING AND MARKINGS SHALL CONFORM TO MUTCD AND BROWARD COUNTY TRAFFIC ENGINEERING STANDARDS (LATEST EDITION).

##### G. SEWER SYSTEM NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LOCAL UTILITY DEPARTMENT MINIMUM STANDARDS AND APPLICABLE CODES.
- THE CONTRACTOR SHALL FIELD VERIFY THE VERTICAL AND HORIZONTAL LOCATION OF EXISTING SEWER LINES, MANHOLES, AND SUBURTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF THE FIELD INFORMATION DIFFERS FROM THAT SHOWN ON THE PLANS.
- ALL GRAVITY SEWER PIPE 4" & LARGER SHALL BE POLYVINYL CHLORIDE (PVC) ASTM 3034, SDR 35 FOR THE ON-SITE SANITARY AND 4" TO 36" PIPES SHALL BE USED IN THE CITY & U.A.
- MINIMUM SLOPE SHALL BE 0.4% FOR 8" PIPE AND 1% FOR 6" SERVICE LATERALS.
- DUCTILE IRON SEWER PIPE FOR GRAVITY MAINS SHALL BE CLASS 350 POLYLINED WITH A MINIMUM OF 30" OF COVER.
- PVC LINES ENTERING OR LEAVING MANHOLES SHALL HAVE A NEOPRENE BOOT WITH STAINLESS STEEL ACCESSORIES.
- CONNECTIONS TO EXISTING MAINS SHALL BE MADE UNDER THE DIRECTION OF THE CITY UTILITY DEPARTMENT.
- CLEANOUTS SHALL BE INSTALLED AT ALL SEWER SERVICES EXCEEDING 75' IN LENGTH (EVEN 75') WITH A CLEANOUT AT THE PROPERTY LINE, EASEMENT LINE, OR 5' FROM A BUILDING. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF THE BUILDING CLEANOUT (S) FROM THE BUILDING AND ELEVATION OF THE END OF THE SEWER SERVICE WITH THE BUILDING PLUMBING CONTRACTOR.
- LIMITS OF INFILTRATION OR EXFILTRATION OR LEAKAGE FOR THE ENTIRE SYSTEM INCLUDING ALL UNDERGROUND PIPE SHALL EXCEED A RATE OF 0.1 GALLONS PER FOOT PER 24 HOURS FOR ALL SIZES OF PIPE THROUGHOUT THE SYSTEM. THE ALLOWABLE LIMITS OF INFILTRATION OR EXFILTRATION MARKINGS SHALL NOT EXCEED A RATE OF 4 GALLONS PER MANHOLE PER 24 HOURS.
- ALL SEWER MAINS AND SERVICES, UP TO AND INCLUDING THE END OF THE SERVICE, SHALL BE CONSTRUCTED WITHIN A MINIMUM OF A 12" UTILITY EASEMENT, UNLESS OTHERWISE SHOWN.
- THE ENTIRE SYSTEM SHALL BE CLEANED PRIOR TO LAMPING OF THE LINES. 12" SANITARY SEWER MUST BE TELEVIEWED @ CONTRACTORS EXPENSE. ALL DEFICIENCIES OBSERVED ON THE VIDEO TAPES SHALL BE CORRECTED PRIOR TO CITY CERTIFICATION TO ANY AGENCY.
- PROVIDE DRAINAGE RPH @ CENTERLINE OF ROAD OF NEAREST DRIVING LANE FOR MANHOLES LOCATED IN GREEN AREAS.

##### H. WATER NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LOCAL UTILITY DEPARTMENT MINIMUM STANDARDS AND APPLICABLE CODES.
- ALL POTABLE WATER PIPE 4" AND LARGER SHALL BE POLYVINYL CHLORIDE (PVC) PRESSURE PIPE CONFORMING TO AWWA C-900-97 PVC-1120, SDR-18 OR DUCTILE IRON CONFORMING TO THE REQUIREMENTS OF ANSI/AWWA C-104/A21.4-03. 4" DIP SHALL BE CLASS 350, 6" AND 8" DIP SHALL BE CLASS 350, AND 10" DIP SHALL BE CLASS 350. MINIMUM DEPTH OF COVER IS 36" FOR PVC AND 30" FOR DIP. ALL PIPE TO HAVE 130 PSI MINIMUM PRESSURE RATING. FITTINGS 4" AND LARGER SHALL BE DUCTILE IRON MEETING ANSI/AWWA C-110/A21.10-03. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER C-104/A21.4-03. 4-03 PRESSURE RATING OF ALL FITTINGS SHALL BE 130 PSI. WATER MAIN PIPES WITHIN THE CITIES RIGHT-OF-WAY OR EASEMENT SHALL BE DUCTILE IRON PIPE CLASS 350. SOLENT WELD SOCKET TYPE ASTM D-2464 OR MINIMUM AND PRESSURE TESTED @ 200 PSI FOR 2 HRS.
- ALL WATER PIPE SMALLER THAN 4 INCHES SHALL BE PVC MINIMUM SCHEDULE 80 WITH A MINIMUM WORKING PRESSURE OF 160 PSI. FITTINGS FOR PIPE SMALLER THAN 4" SHALL BE MINIMUM SCHEDULE 80. SOLENT WELD SOCKET TYPE ASTM D-2464 OR MINIMUM SCHEDULE 80 THREADED TYPE ASTM D-2464.
- WHERE SHALL BE NO CONNECTION TO AN EXISTING WATER MAIN UNTIL PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN RUN AND THE SYSTEM ACCEPTED BY THE CITY AND THE COUNTY HEALTH DEPARTMENT.
- ALL CONNECTIONS TO EXISTING MAINS SHALL BE MADE UNDER THE DIRECTION OF THE CITY UTILITY DEPARTMENT.
- WATER METERS 2" OR SMALLER SHALL BE INSTALLED BY THE CITY. THE CONTRACTOR SHALL COORDINATE WITH THE CITY UTILITY DEPARTMENT AND PROVIDE THE PROPER FITTINGS NECESSARY TO INSTALL THE METERS. ALL COSTS ASSOCIATED WITH THE METER INSTALLATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- GATE VALVES, 4" OR LARGER, SHALL MEET AWWA C-509-01 STANDARD. BUTTERFLY VALVES, 4" OR LARGER, SHALL MEET AWWA C-504-00, CLASS 150B STANDARDS.
- FIRE HYDRANTS SHALL BE TRAFFIC BREAK AWAY TYPE CONFORMING TO AWWA C-502-94 STANDARDS. FIRE HYDRANTS SHALL BE MUELLER MODEL A-4-HED OR CLW MODEL/NUMBER 2546-SB.
- ALL TRENCHING, PIPE LAYING, BACKFILLING, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH AWWA C-600-99 AND C-651-99 STANDARDS.
- DEFLECT WATER MAINS AS NECESSARY TO AVOID ANY CONFLICTS WITH OTHER UTILITIES. ALLOWABLE DEFLECTION SHALL NOT EXCEED AWWA STANDARDS.
- THE CONTRACTOR SHALL COORDINATE THE LOCATION AND ELEVATION OF THE ENDS OF THE WATER SERVICES WITH THE BUILDING PLUMBING CONTRACTOR.
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING WATER MAINS AND PROPOSED CONNECTION POINTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF THE FIELD INFORMATION DIFFERS FROM THAT SHOWN ON THE PLANS.
- ALL WATER MAINS TO BE FLOUSHED VIA POLY PIG.
- THE CONTRACTOR MUST ARRANGE AND PAY FOR ANY TEMPORARY WATER REQUIRED FOR CONSTRUCTION, CLEANING, TESTING, ETC.,

#### I. TESTING

- ALL PIPE SHALL BE TESTED UNDER A CONSTANT PRESSURE OF 150 PSI (200 PSI FOR FIRE MAIN) FOR A MINIMUM TEST PERIOD OF 2 HOURS AND SHALL NOT EXCEED THE LEAKAGE REQUIREMENTS AS PER ANSI/AWWA SPECIFICATIONS OF C-600-99 LEAKAGE FORM



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HALLANDALE BEACH SHOPS

1000 - 1001 WEST HALLANDALE BEACH BOULEVARD  
HALLANDALE, FLORIDA 33309

REV	DATE	DESCRIPTION
1	8/8/12	ADJUST FOR CITY COMMENTS
2	8/28/12	ADJUST FOR CITY COMMENTS
3	10/16/12	ADJUST EXISTING TREE VALUATIONS & NOTES

DESIGN DELIVERABLE: PERMIT SUBMITTAL  
ISSUE DATE: 04/25/12

PROJECT NUMBER:  
DRAWN BY: B.E.C.  
CHECKED BY: B.E.C.

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SHEET TITLE:

LANDSCAPE PLAN

1 OF 1 SHEETS

SHEET NUMBER:

L-1

PLANT LIST

TREES & PALMS < ALL TREES TO BE BALLED & BURLAPED AND FIELD GROWN

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE
▲	BUL. A. 5	BULNESIA ARBOREA	VERAWOOD	10' X 5-6' /MIN 2" DBH & 4' CT.
▲	BUR. S. 3	BURSERIA SIMARUBA	GUMBO LIMBO	15-16' X 7-8' /MIN 4" DBH & 6' CT.
*	CDC. D. 6	COCCOLOBA DIVERSIFOLIA	PIGEON PLUM	15-16' X 6-7' / 5' CT. /MIN 3.5" DBH
*	CDN. ES. 8	CONDICARPUS E. 'SERICEUS	SILVER BUTTWOOD	10-11' X 4-5' /MULTISTEM & 4' CT. /MIN 2" DBH
	LAG. IN. 5	LAGER. INDICA 'NATCHEZ'	CREPE MYRTLE	10-11' X 4-5' /MULTISTEM & 4' CT. /MIN 2" DBH
▲	QUE. V. 6	QUERCUS VIRGINIANA	LIVE OAK	15-16' X 6-7' /MIN 4" DBH/6' CT.
▲	ROY. R. 8	ROYSTOMEA REGIA	FL. ROYAL PALM	7-8' GW/28-30HT/MATCHED
	VEI. M. 12	VEITCHIA MONTGOMERYANA	MONTGOMERY PALM	16-22' HT/12-18' CT. (STAGGERED) <SEE PLAN

SHRUBS & GROUND COVERS

▲	ANN. S. 125	ANNUALS (TO BE SELECTED AT PLANTING TIME)	10-12" DA @ 10" OC.
▲	CHR. I. 329	CHRYSOBALANUS ICACOD	COCOPALM 24" X 24" @ 24" OC.
	CRU. A. 11	CRINUM ASIATICUM	CRINUM LILY 30-36" X 30" @ 36" OC.
	FIC. GI. 232	FICUS M. 'GREEN ISLAND'	GR. ISLAND FICUS 10-12" X 13-15" @ 16" OC
*	HAM. N. 213	HAMELIA NODOSA	DWARF FIREBUSH 18-20" DA @ 24" OC.
	MIC. S. 120	MICROSDRUM SCOLOPENDRIUM	WART FERN 12-14" DA @ 18" OC.
	NEP. F. 75	NEPHLEPIS FALCATA	MACHO FERN 24-30" DA @ 30" OC.
	SCH. GC. 83	SCHEF. 'GOLD CAPELLA'	DW. VAR. SCHEFFLERA 24" X 24" @ 24" OC.
	SCH. E. 7	SCHEFFLERA ELEGANTISSIMA	FALSE ARALIA 5-6' X 24" /5 STEM
	VIB. D. 28	VIBURNUM ODRATISSIMUM	BIG LEAF VIBURNUM 3-4' X 2' @ 24" OC

▲ \* NATIVE MATERIALS - TREES & PALMS -32 OUT OF 54 = 59%  
SHRUBS & GROUND COVERS -558 OUT OF 1112 = 50%

GENERAL LANDSCAPE NOTES

- CONTRACTOR IS RESPONSIBLE FOR REPAIRING FACILITIES HE DAMAGES AND IS TO COORDINATE WITH OTHER CONTRACTORS ON SITE.
- CONTRACTOR IS RESPONSIBLE FOR FINISH GRADES- ROUGH GRADES BY GENERAL CONTRACTOR.
- ALL PLANT MATERIALS TO BE FLORIDA NO. 1 OR BETTER AS PER FLORIDA DEPT. OF AGRICULTURE GRADES & STANDARDS, CURRENT EDITION
- PLANTING SOIL TO BE A WEED FREE MIXTURE OF MUCK & SAND (50/50) WITH 50 LBS OF AN ORGANIC (6-6-6) FERTILIZER CONTAINING NITROGEN, PHOSPHORIC ACID AND POTASH IN AN EQUAL PERCENTAGE OF PLANT FOOD BY WEIGHT PER 6 CU. YDS. .
- TREES, PALMS, SHRUBS GUARANTEED FOR ONE (1) YEAR.
- APPLY 3" MELALEUCA/EUCALYPTUS MULCH (ARSENIC FREE) AROUND ALL PLANTS WITHIN 2 DAYS.
- CONTRACTOR TO COMPLY WITH ALL CITY LANDSCAPE ORDINANCE REQUIREMENTS.
- WHERE THERE IS A DISCREPANCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PREFERENCE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY VERIFICATION NECESSARY INVOLVING THE LANDSCAPE MATERIALS SHOWN ON THE PLAN.
- ALL AREAS NOT COVERED BY PAVING, STRUCTURES, OR LANDSCAPING TO BE SODDED ST AUGUSTINE FLORATAM SOD. SOD TO HAVE GOOD COMPACT GROWTH & ROOT SYSTEM. LAY WITH TIGHT JOINTS AND ROLL SMOOTH AS REQUIRED.
- TREES & PALMS TO BE STAKED AS NECESSARY IN A GOOD WORKMANLIKE MANNER WITH NO NAIL STAKING PERMITTED.
- THE IRRIGATION SYSTEM WILL HAVE 100% COVERAGE, 100% OVERLAP, NO OVER SPRAY ON WALKWAYS, PAINT PVC RISERS FLAT BLACK, RAIN SENSOR AND RUST FREE WATER. RECYCLED WATER WILL BE USED SO PURPLE PIPE WILL NEED TO BE USED AS WELL.

HALLANDALE LANDSCAPE CODE

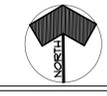
	REQUIRED	PROVIDED
1. TREES FOR SITE SREA		
1 TREE/PALM MIN. 15' HT PER 1500 SF OF TOTAL SITE		
TOTAL SITE = 44291 SF	30	

TREE / PALM LEGEND

- + NEWLY PLANTED TREES
- NEWLY PLANTED PALMS
- 2 ☒ EXTG TREES TO BE REMOVED & NUMBER OF TREE/PALM (NUMBERS RELATE TO NO. IN RESOLUTION LIST)

- 30 - 4 GUMBO LIMBO
- 6 LIVE OAK
- 6 PIGEON PLUM
- 6 FOR 12 MONTGOMERY PALMS
- 8 ROYAL PALM

LANDSCAPE PLAN



SCALE 1" = 20'

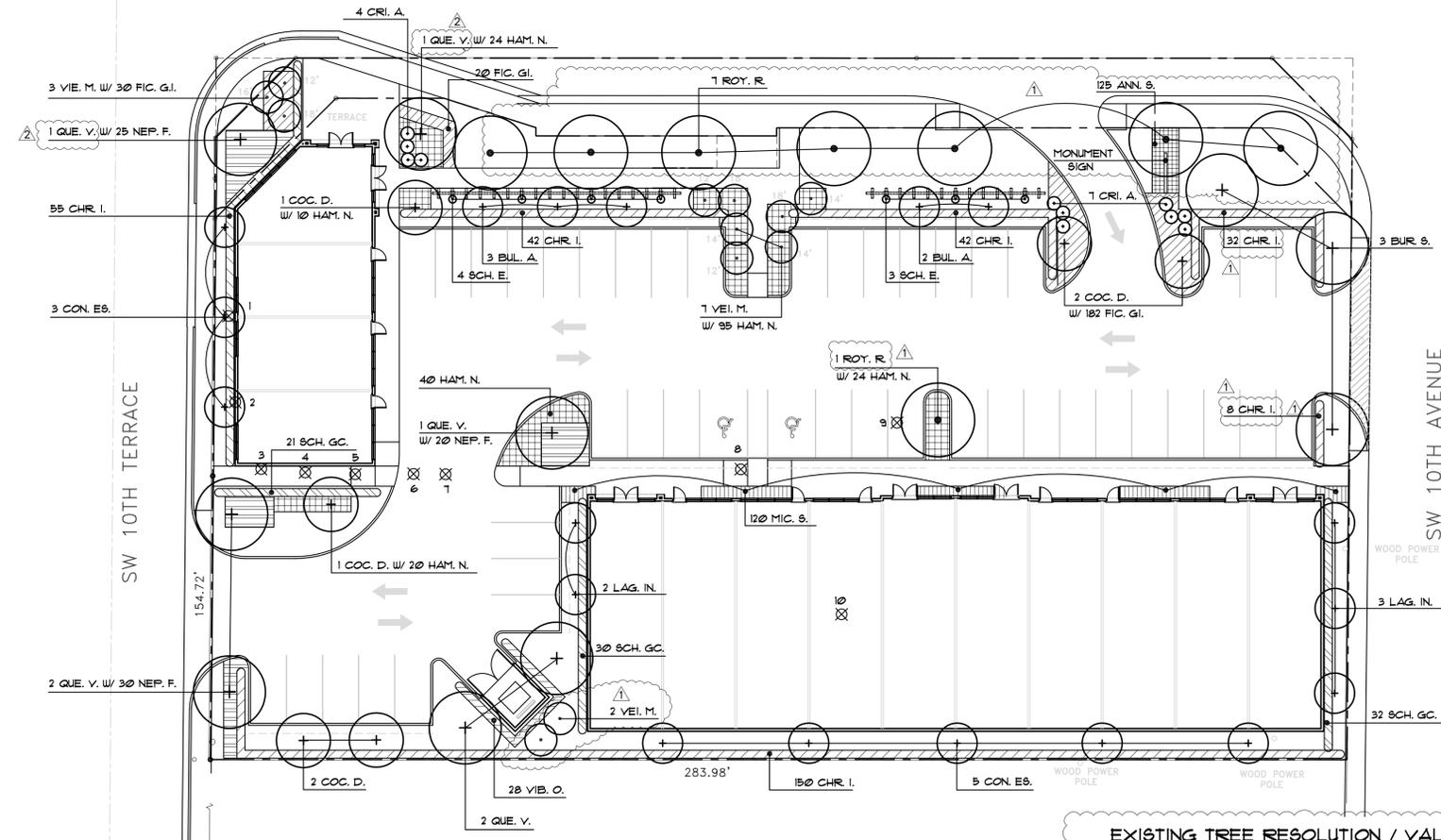
BRUCE E. CUMMINGS P.A.  
LANDSCAPE ARCHITECT

LAUDERDALE BY THE SEA, FLA  
954/771-8184

HALLANDALE BEACH BOULEVARD

SW 10TH AVENUE

SW 10TH TERRACE



EXISTING TREE RESOLUTION / VALUATION

< BASED ON MY VISUAL SURVEY AUGUST 8, 2012 >

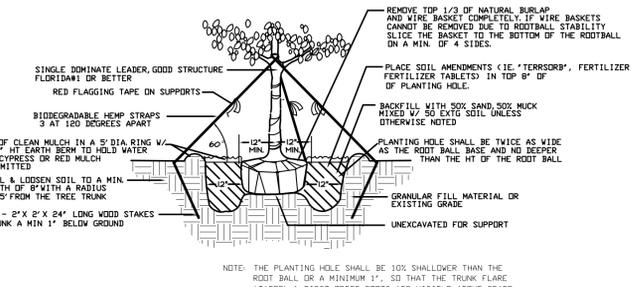
TREE NO.	TYPE & SIZE	CONDITION	RESOLUTION	VALUE *
1.	ALEXANDER PALM/DBL-10' 12' CT	POOR	REMOVE	
2.	LIVE OAK-30' X 34' /18" CAL	GOOD ●	REMOVE	\$ 5000
3.	SEAGRAPE-30' X 25' /MULTISTEM	POOR	REMOVE	
4.	CARPENTERIA PALM/DBL-20-22' CT	POOR	REMOVE	
5.	SEAGRAPE-24' X 18' /MULTISTEM	POOR	REMOVE	
6-7.	2 QUEEN PALM - 6-10' CT	POOR	REMOVE	
8.	LIVE OAK-30' X 12' /7" CAL	POOR	REMOVE	
9.	LIVE OAK-34' X 42' /14" CAL	GOOD ●	REMOVE	\$ 4000
10.	POND APPLE-20' X 22' /16" CAL	GOOD ●	REMOVE	\$ 3000

▲ TOTAL VALUE OF TREES IN GOOD CONDITION TO BE REMOVED = \$12000

- ▲ \* VALUATIONS BASED ON CITY CODE CHAPTER 29-4
- ▲ ● APPLICANT WILL ATTEMPT TO RELOCATE TREES IN GOOD CONDITION IF HE CAN NOT, THE VALUE OF TREES BASED ON THE ABOVE CHART TO BE PAID INTO CITY OF HALLANDALE TREE TRUST FUND

TREE PLANTING DETAIL

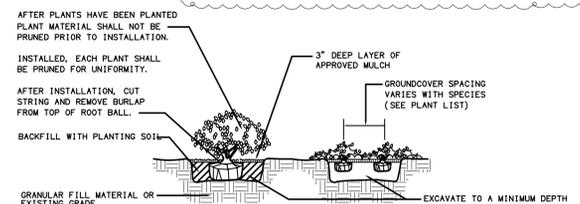
FOR TREES UP TO 16' HT. N.T.S.



NOTE: THE PLANTING HOLE SHALL BE 10% SHALLOWER THAN THE ROOT BALL OR A MINIMUM 1", SO THAT THE TRUNK FLARE (TAPER) & FIRST ORDER ROOTS ARE VISIBLE ABOVE GRADE. MULCH MUST NOT BE PLACED AT THE TAPER AND MUST BE SET BACK 12-18" FROM THE TRUNK.

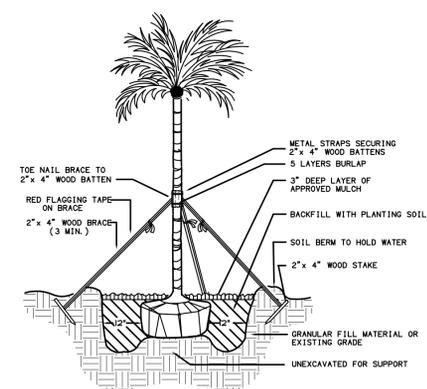
SHRUB PLANTING DETAIL

N.T.S.



NOTE: THE PLANTING HOLE SHALL BE 10% SHALLOWER THAN THE ROOT BALL OR A MINIMUM 1", SO THAT THE TRUNK FLARE (TAPER) & FIRST ORDER ROOTS ARE VISIBLE ABOVE GRADE. MULCH MUST NOT BE PLACED AT THE TAPER AND MUST BE SET BACK 12-18" FROM THE TRUNK.

▲ SHRUBS SHALL NOT BE PRUNED PRIOR TO INSTALLATION



MONTGOMERY PALM PLANTING DETAIL

N.T.S.

NOTE: THE PLANTING HOLE SHALL BE 10% SHALLOWER THAN THE ROOT BALL OR A MINIMUM 1", SO THAT THE TRUNK FLARE (TAPER) & FIRST ORDER ROOTS ARE VISIBLE ABOVE GRADE. MULCH MUST NOT BE PLACED AT THE TAPER AND MUST BE SET BACK 12-18" FROM THE TRUNK.

# " HALLANDALE BEACH SHOPS "

A PORTION OF SECTION 28, TOWNSHIP 51 SOUTH, RANGE 42 EAST, CITY OF HALLANDALE BEACH, BROWARD COUNTY, FLORIDA.

Exhibit 10

### BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT COUNTY RECORDS DIVISION - RECORDING SECTION:

This instrument was filed for record this \_\_\_\_\_ day of \_\_\_\_\_ and recorded in Plat Book \_\_\_\_\_, Page \_\_\_\_\_, record verified.

Attest: Bertha Henry County Administrator By: \_\_\_\_\_ Deputy

### BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT COUNTY RECORDS DIVISION-MINUTES SECTION:

This is to certify that this plat complies with the provisions of Chapter 177, Florida Statutes, and was accepted for record by the Board of County Commissioners of Broward County, Florida, this \_\_\_\_\_ day of \_\_\_\_\_

Attest: Bertha Henry County Administrator By: \_\_\_\_\_ Mayor - County Commission Deputy

### BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION:

This plat was approved and accepted for record.

By: \_\_\_\_\_ Date  
Richard Tornese  
Director  
Florida Professional Engineer  
Florida Registration Number 40263

By: \_\_\_\_\_ Date  
Robert P. Legg, Jr.  
Professional Surveyor and Mapper  
Florida Registration Number LS 4030

### BROWARD COUNTY PLANNING COUNCIL:

This is to certify that the Broward County Planning Council approved this plat subject to its compliance with the dedication of rights-of-way for trafficways this \_\_\_\_\_ day of \_\_\_\_\_

By: \_\_\_\_\_ Date  
Chairperson

This plat complies with the approval of the Broward County Planning Council of the above date and is approved and accepted for record this \_\_\_\_\_ day of \_\_\_\_\_

### BROWARD COUNTY ENVIRONMENTAL PROTECTION AND GROWTH MANAGEMENT DEPARTMENT:

This Plat is hereby approved and accepted for record.

By: \_\_\_\_\_ Date  
Director/Designee

### SURVEYORS CERTIFICATE:

I hereby certify: That the attached plat is a true and correct representation of the lands recently surveyed, subdivided and platted under my responsible direction and supervision. That the survey data complies with the applicable requirements of Chapter 177, Part 1, Florida Statutes and with the applicable section of Chapter 61G17-6, Florida Administrative Code. And further that the Permanent Reference Monuments (PRM's) were set this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ in accordance with section 177.091 of said Chapter 177. The Benchmarks shown hereon are referenced to the National Geodetic Vertical Datum (NGVD) of 1929 and were established in conformity with standards adopted by the National Ocean Survey for third order vertical control.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, in Broward County, Florida.

Mikki H. Ulrich  
Professional Surveyor and Mapper  
No. 5853  
State of Florida

DENI LAND SURVEYORS, INC.  
Certificate of Authorization LB Number 7281

May, 2012

### DESCRIPTION:

PARCEL 1:

THE NORTH 154.00 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4; LESS THE NORTH 50.00 FEET THEREOF; LESS THE WEST 25.00 FEET THEREOF; AND LESS THE EAST 134.00 FEET THEREOF; IN SECTION 28, TOWNSHIP 51 SOUTH, RANGE 42 EAST, OF BROWARD COUNTY, FLORIDA, AND LESS THAT PORTION CONVEYED TO BROWARD COUNTY, FLORIDA IN THE DEED DATED MAY 7, 1979, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE POINT OF INTERSECTION OF THE SOUTH LINE OF THE NORTH 50.00 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 28 WITH THE EAST LINE OF THE WEST 25.00 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 28; THENCE RUN NORTH 87°35'34" EAST ALONG THE SOUTH LINE OF THE NORTH 50.00 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 28, FOR A DISTANCE OF 19.84 FEET; THENCE RUN SOUTH 42°49'05" WEST, FOR A DISTANCE OF 28.17 FEET; THENCE RUN NORTH 01°57'23" WEST ALONG THE EAST LINE OF THE WEST 25.00 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 28, FOR A DISTANCE OF 19.84 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH:

PARCEL 2:

THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, LESS THE SOUTH 450 FEET, LESS THE WEST 25 FEET, LESS THE EAST 25 FEET AND LESS THE NORTH 154 FEET OF SECTION 28, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA;

AND INCLUDING THE WEST 109 FEET OF THE EAST 134 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, LESS THE NORTH 50 FEET AND LESS THE SOUTH 450 FEET AND LESS THAT PORTION DESCRIBED IN OFFICIAL RECORDS BOOK 8550, PAGE 588 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:

BEGIN AT THE POINT OF INTERSECTION OF THE SOUTH LINE OF THE NORTH 50.00 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 28 WITH THE WEST LINE OF THE EAST 25.00 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 28; THENCE RUN SOUTH 87°35'34" WEST ALONG THE SOUTH LINE OF THE NORTH 50.00 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 28 FOR A DISTANCE OF 20.16 FEET; THENCE RUN SOUTH 47°10'22" EAST FOR A DISTANCE OF 28.40 FEET; THENCE RUN NORTH 01°56'18" WEST ALONG THE WEST LINE OF THE EAST 25.00 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 28 FOR A DISTANCE OF 20.16 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF HALLANDALE BEACH, BROWARD COUNTY, FLORIDA, CONTAINING 49,257 (1.131 ACRES) MORE OR LESS.

### DEDICATION: STATE OF FLORIDA COUNTY OF BROWARD S. S.

Know all men by these presents that HB 1000-18, LLC, a Florida Limited Liability Company, owner of the lands described hereon, have caused said lands to be surveyed, subdivided and platted in the manner shown hereon. Said plat to be known as "HALLANDALE BEACH SHOPS".

All rights of way shown hereon are dedicated in fee simple to the public for proper purposes. All utility easements shown hereon are dedicated for the use of the public for proper purposes.

IN WITNESS WHEREOF, HB 1000-18, LLC, a Florida Limited Liability Company, set their hands and seal this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

HB 1000-18 LLC

Witness  
Print Name:

Witness  
Print Name:

### ACKNOWLEDGEMENT: STATE OF FLORIDA COUNTY OF BROWARD S. S.

BEFORE ME personally appeared \_\_\_\_\_ as \_\_\_\_\_ of HB 1000-18, LLC, a Florida Limited Liability Company, to me well known to be the persons described in and who executed the foregoing dedication personally appeared before me and acknowledged to and before me the foregoing instrument of dedication for the purposes therein expressed. They did not take an oath.

Witness my hand and official seal this \_\_\_\_\_ day of \_\_\_\_\_, 20.2.

Notary Public

### MORTGAGE DEDICATION: STATE OF FLORIDA COUNTY OF BROWARD S. S.

Know all men by these presents that: TOTALBANK, a Florida banking corporation, holder of the mortgage of the lands described hereon as recorded in Official Records Book 42215, Page 337 of the Public Records of Broward County, hereby joins in the foregoing dedication as shown hereon.

TOTALBANK

Witness:  
Print Name:

Witness:  
Print Name:

### MORTGAGE ACKNOWLEDGEMENT: STATE OF FLORIDA COUNTY OF BROWARD S. S.

I hereby certify that: \_\_\_\_\_ as \_\_\_\_\_ of TOTALBANK, to me well known to be the person described in the foregoing dedication, personally appeared before me on this day and acknowledged to and before me the execution of the foregoing instrument of dedication for the purposes therein expressed. He did not take an oath.

IN WITNESS WHEREOF: I have hereunto set my hand and seal this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

My commission expires: \_\_\_\_\_ Notary Public

### CITY OF HALLANDALE BEACH PLANNING AND ZONING BOARD:

THIS IS TO CERTIFY: That the Planning and Zoning Board of the City of Hallandale Beach, Broward County, Florida, has approved and accepted this plat this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

By: \_\_\_\_\_ Chairperson

### CITY OF HALLANDALE BEACH CITY COMMISSION:

THIS IS TO CERTIFY: That this plat has been approved and accepted for record by the City of Hallandale Beach, Broward County, Florida, by Resolution No. \_\_\_\_\_ adopted this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ and that by said resolution all rights-of-ways, thoroughfares and easements shown on this plat were accepted in the name of the public and all previous plats of this land are cancelled and superseded.

No building permits shall be issued for the construction, expansion, and/or conversion of a building within this plat until such time as the developer provides this municipality with written confirmation from Broward County that all applicable impact fees have been paid or are not due.

By: \_\_\_\_\_ Mayor, City of Hallandale Beach  
Joy Cooper  
By: \_\_\_\_\_ City Clerk, City of Hallandale Beach  
Sheena D. James

### CITY OF HALLANDALE BEACH CITY ENGINEER:

This plat has been approved and accepted for record.

Date: \_\_\_\_\_ City Engineer, City of Hallandale Beach

County Surveyor's seal County seal City seal Surveyor seal

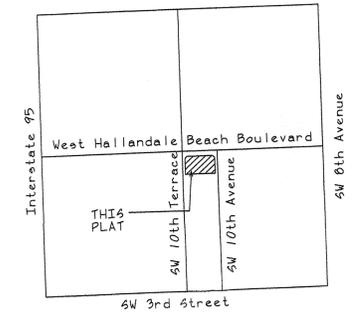


Prepared By:  
**DENI LAND SURVEYORS, INC.**  
1991 N.W. 35th AVENUE, COCONUT CREEK, FL 33066  
PHONE (954)973-7966 FAX (954)979-0343

026-MP-09

# HALLANDALE BEACH SHOPS

A PORTION OF SECTION 28, TOWNSHIP 51 SOUTH, RANGE 42 EAST, CITY OF HALLANDALE BEACH, BROWARD COUNTY, FLORIDA.



LOCATION SKETCH  
(not to scale)

**NOTES:**

1. © P.R.M. Indicates Permanent Reference Monument (6" round, 24" long concrete monument with aluminum disk stamped DENI LAND SURVEYORS, P.R.M., LB #7281)
2. Bearings shown hereon are relative to the Westerly line of Tract "A" HALLANDALE AMOCO (PB 149, PG 39, BCR), said line bears North 01°56'18" West.
3. B.M. elev. where indicated refers to benchmark elevation.
4. Benchmarks shown hereon are referenced to the National Geodetic Vertical Datum (N.G.V.D.) of 1929 and are based on Broward County Benchmark No. 179; "X" cut in Northeast anchor bolt of Amoco Service Station. 73' South of centerline of asphalt Hallandale Beach Boulevard, 40' East of Southwest 10 Avenue; elevation = 7.604'

5. NOTICE: This plat, as recorded in its graphic form, is the official depiction of the subdivided lands described herein and will in no circumstances be supplanted in authority by any other graphic or digital form of the plat. There may be additional restrictions that are not recorded on this plat that may be found in the public records of this county.

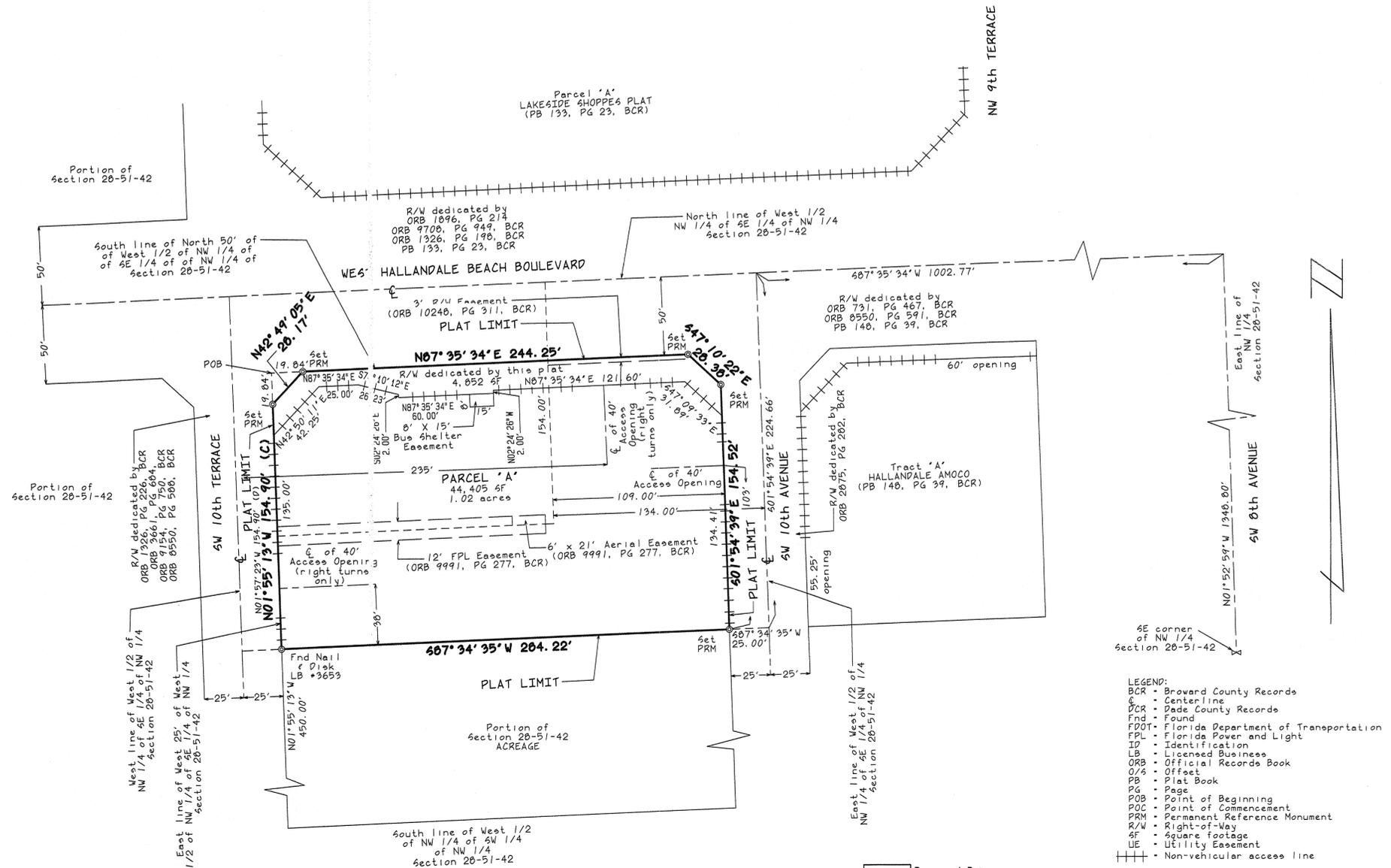
6. This plat is restricted to 15,000 square feet of commercial use. No free standing banks and/or drive-thru bank facilities are permitted without the approval of the Board of County Commissioners who shall review and address these uses for increased impacts.

This note is required by Chapter 5, Article IX, Broward County Code of Ordinances and may be amended by approval of the Broward County Board of County Commissioners. The notation and any amendments thereto are solely indicating the approved development level for property located within the plat and do not operate as a restriction in favor of any property owner including an owner or owners of property within this plat who took title to the property with reference to this plat.

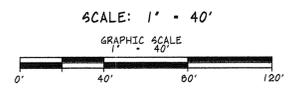
7. a) If a building permit for a principal building (excluding dry models, sales and construction offices) and first inspection approval are not issued by 2017, then the County's finding of adequacy shall expire and no additional building permits shall be issued until such time as Broward County makes a subsequent finding that the application satisfies the adequacy requirements set forth within the Broward County Land Development Code. The owner of the property shall be responsible for providing evidence to Broward County from the appropriate governmental entity, documenting compliance with this requirement within the above referenced time frame; and/or

b) If construction of project water lines, sewer lines, drainage and the rock base for internal roads have not been substantially completed by 2017, then the County's finding of adequacy shall expire and no additional building permits shall be issued until such time as Broward County makes a subsequent finding that the application satisfies the adequacy requirements set forth within the Broward County Land Development Code. This requirement may be satisfied for a phase of the project, provided a phasing plan has been approved by Broward County. The owner of the property shall be responsible for providing evidence to Broward County from the appropriate governmental entity, documenting compliance with this requirement within the above referenced time frame.

8. The following note is required by the Broward County Surveyor, pursuant to Chapter 177.091 subsection (28), Florida Statutes: Platted utility easements are also for the construction, installation, maintenance and operation of cable television services; provided, however, no such construction, installation, maintenance and operation of cable television services shall interfere with the facilities and services of electric, telephone, gas or other public utility. In the event a cable television company damages the facilities of a public utility, it shall be solely responsible for the damages. This note does not apply to private easements granted to or obtained by a particular electric, telephone, gas or other public utility. Such construction, installation, maintenance and operation shall comply with the National Electric Safety Code as adopted by the Florida Public Safety Commission.



- LEGEND:**
- BCR - Broward County Records
  - CL - Centerline
  - DCR - Dade County Records
  - Fnd - Found
  - FOT - Florida Department of Transportation
  - FPL - Florida Power and Light
  - ID - Identification
  - LB - Licensed Business
  - ORB - Official Records Book
  - O/S - Offset
  - PB - Plat Book
  - PG - Page
  - POB - Point of Beginning
  - POC - Point of Commencement
  - PRM - Permanent Reference Monument
  - R/W - Right-of-Way
  - SF - Square Footage
  - UE - Utility Easement
  - Non-vehicular access line



Prepared By:  
**DENI LAND SURVEYORS, INC.**  
 1991 N.W. 35th AVENUE, COCONUT CREEK, FL 33066  
 PHONE (954)973-7966 FAX (954)979-0343  
 FIELD BOOK: 105-36 026-MP-09

SKETCH OF BOUNDARY SURVEY

DESCRIPTION:  
PARCEL 1:

THE NORTH 154.00 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4; LESS THE NORTH 50.00 FEET THEREOF; LESS THE WEST 25.00 FEET THEREOF; AND LESS THE EAST 134.00 FEET THEREOF; IN SECTION 28, TOWNSHIP 51 SOUTH, RANGE 42 EAST, OF BROWARD COUNTY, FLORIDA AND LESS THAT PORTION CONVEYED TO BROWARD COUNTY, FLORIDA IN THE DEED DATED MAY 7, 1979, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE POINT OF INTERSECTION OF THE SOUTH LINE OF THE NORTH 50.00 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 28 WITH THE EAST LINE OF THE WEST 25.00 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 28; THENCE RUN NORTH 87°35'34" EAST ALONG THE SOUTH LINE OF THE NORTH 50.00 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 28, FOR A DISTANCE OF 19.84 FEET; THENCE RUN SOUTH 42°49'05" WEST, FOR A DISTANCE OF 28.17 FEET; THENCE RUN NORTH 01°57'23" WEST ALONG THE EAST LINE OF THE WEST 25.00 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 28, FOR A DISTANCE OF 19.84 FEET TO THE POINT OF BEGINNING.

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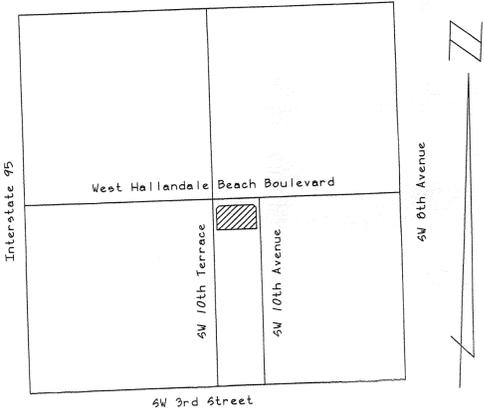
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AND INCLUDING THE WEST 109 FEET OF THE EAST 134 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, LESS THE NORTH 50 FEET AND LESS THE SOUTH 450 FEET AND LESS THAT PORTION DESCRIBED IN OFFICIAL RECORDS BOOK 8550, PAGE 588 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:

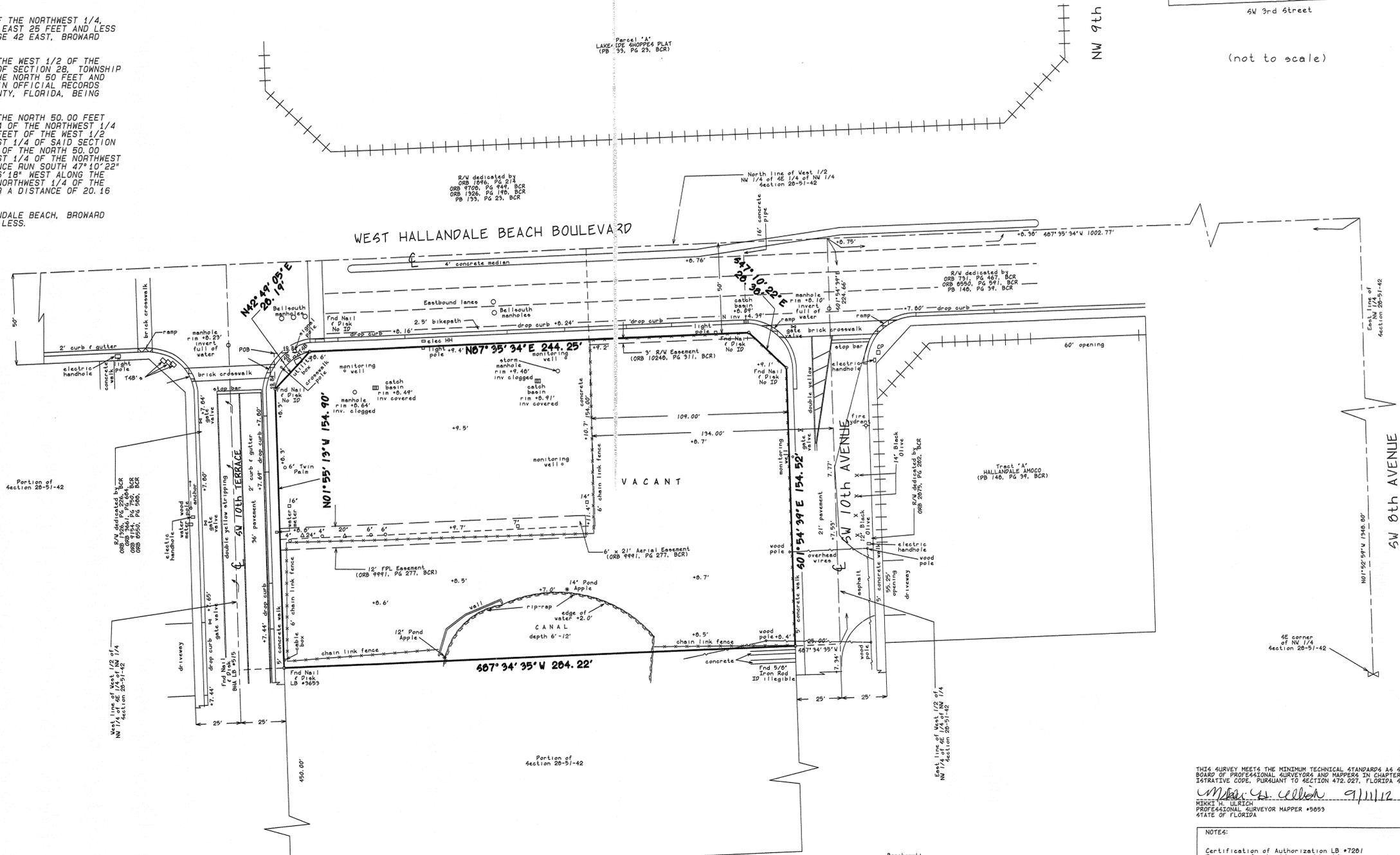
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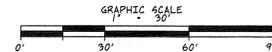
(not to scale)

Folio #: 5142 20 00 0181  
5142 20 00 0180



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  - DCR - Dade County Records
  - Fnd - Found
  - FDOT - Florida Department of Transportation
  - FPL - Florida Power and Light
  - H - Handhole
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  - POC - Point of Commencement
  - PRM - Permanent Reference Monument
  - R/W - Right-of-Way
  - SF - Square Footage
  - UE - Utility Easement
  - +++ - Non-vehicular access line

- Tree Legend:
- X - Black Olive
  - o - Palm Tree
  - - Oak Tree
  - △ - Seagrape



Benchmark: Broward County BM #1176; 'square' cut in south edge of concrete of concrete sidewalk, 65' south of centerline of Hallandale Beach Blvd., below the North bound 3+95 overpass, 95' West of East end of sidewalk; elevation = +9.340'

THIS SURVEY REFLECTS ALL EASEMENTS & RIGHTS OF WAY AS PER RECORDED PLAT & TITLE COMMITMENT. IF SUPPLEMENTARY WORK IS REQUIRED, THE SURVEYOR'S TITLE COMMITMENT & OTHER TITLE VERIFICATION HAS BEEN PERFORMED BY THE UNDERWRITER.

THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 475.027, FLORIDA STATUTES.

*M. G. V. D.* 9/11/12  
MIRIAM V. DUBOVIK  
PROFESSIONAL SURVEYOR MAPPER #5053  
STATE OF FLORIDA

FILE NO: NS-PLAT  
SCALE: 1" = 30'

NOTE: Certification of Authorization LB #7201 Dimensions for building and building lines are to the foundation of same. Certification to date of field work & not signature date. Bearings shown are based on the Westerly line Tract A, HALLANDALE AMOCO N 01°54'39" W (per PB 148, PG 39, BCR) Subsurface features not located. Elevations per N.G.V.D. 1929.

REVISIONS	DATE	FOR	BY	DATE	FOR	BY
1205008	Update survey	5/22/12				
1206013	tree location	7/5/12				
1207005	locate striping	7/13/12				
1209003	add R/W loc's & top	9/11/12				

1991 N.W. 35TH AVENUE, COCONUT CREEK, FL 33066 (954)973-7966 FAX (954)979-0343  
LAND SURVEYS • SUBDIVISIONS • CONSTRUCTION SURVEYS