

# GOLDEN ISLES PARK & TENNIS FACILITY

HALLANDALE BEACH, FL

## DRC SUBMITTAL

3-15-2019

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**BOARD OF COMMISSIONERS**

- MAYOR  
KEITH LONDON
- VICE MAYOR  
MICHELLE LAZAROW
- COMMISSIONER  
ANABELLE LIMA-TAUB
- COMMISSIONER  
RICHARD DALLY
- COMMISSIONER  
MIKE BUTLER

**LOCATION**

PROJECT LOCATION



VICINITY MAP  
NTS



**PROJECT TEAM**



**OWNER**  
CITY OF HALLANDALE BEACH  
400 S FEDERAL HIGHWAY  
HALLANDALE BEACH, FL 33009



**STRUCTURAL ENGINEER**  
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REGISTRATION NUMBER  
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ACAI PROJECT

16-030 G01

### SYMBOL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	INDICATES DIRECTION OF TRUE NORTH		ROOM NAME
	VIEW NUMBER, TITLE, & SCALE		AREA NAME
	BUILDING SECTION TAG		EQUIPMENT TAG
	WALL / PARTIAL SECTION TAG		FIBER TAG
	ELEVATION TAGS		CATEGORY KEYNOTE TAG
	CALLOUT TAGS		DOOR TAG
	COLUMN GRID DESIGNATIONS		LOUVER TAG
	ELEVATION TAG		SLOPE ARROW
	ROOM NAME		PROJECT LIMIT LINE
	AREA NAME		INDICATES EXISTING AREA NOT IN CONTRACT
	CONCRETE		MASONRY
	CONCRETE		PLYWOOD
	GYPSUM		WOOD
	STUCCO		STEEL
	INSULATION		ALUMINUM
	TILE / STONE		

### ARCHITECTURAL ABBREVIATIONS

ACROST.	DESCRIPTION	GL.	GLASS
ADJ.	ADJUSTABLE	GW.	GYPSUM WALL BOARD
AF.F.	ABOVE FINISH FLOOR	HDWR.	HARDWARE
A.C.	AIR CONDITIONING UNIT	HM.	HOLLOW METAL
AHU	AIR HANDLING UNIT	HORIZ.	HORIZONTAL
ALUM.	ALUMINUM	HP.	HIGH POINT
APPROX.	APPROXIMATELY	HVAC.	HEATING, VENTILATION & A/C
BD.	BOARD	ICRM.	INFECTION CONTROL RISK ASSESSMENT
BLDG.	BUILDING	INTRM.	INTERM. LIFE SAFETY MEASURES
BLK.	BLOCK	IN.	INCHES
BLKG.	BLOCKING	INSUL.	INSULATION
B.O.	BOTTOM OF	LT. WT.	LIGHT WEIGHT
BUR.	BUILT UP ROOF	MAX.	MAXIMUM
CAB.	CABINET	MECH.	MECHANICAL
CB.	CATCH BASIN	MEP.	MECHANICAL, ELECTRICAL & PLUMBING
CEM.	CEMENT	MFG.	MANUFACTURING
CG.	CORNER GUARD	MN.	MINIMUM
CT.	CERAMIC TILE	MISC.	MISCELLANEOUS
CLJ.	CORNER JOINT	MO.	MASONRY OPENING
CLKG.	CAULKING	M.H.	MOUNTING HEIGHT
CLNG.	CEILING	MTL.	METAL
CLR.	CLEAR	NIC.	NOT IN CONTRACT
CLO.	CLOSET	NTS.	NOT TO SCALE
CMU.	CONCRETE MASONRY UNIT	OC.	ON CENTER
COL.	CLEAN OUT	OH.	OPPOSITE HAND
C.O.	COLUMN	OVHD.	OVERHEAD
CONC.	CONCRETE	PPE.	PERSONAL PROTECTIVE EQUIPMENT
CONSTR.	CONSTRUCTION	P.F.T.	PRESSURE TREATED
CONT.	CONTINUOUS	PTD.	PAINTED
CL.	CENTER LINE	QTY.	QUANTITY
C.P.T.	COMMON PATH OF TRAVEL	RCP.	REFLECTED CEILING PLAN
DTL.	DETAIL	REF.	REFERENCE
DF.	DRINKING FOUNTAIN	REP.	REFERENCE
DI.	DIAMETER	REDD.	REQUIRED
DM.	DIMENSION	R.D.	ROOF DRAIN
DO.	DOOR	R.O.	ROUGH OPENING
D.O.	DOWN OPENING	S.C.D.	SCHEDULE
DRAWG.	DRAWING	SCW.	SOFT CORE WOOD
EACH.	EACH	SH.	SHIELD
EF.	EXHAUST FAN	SM.	SMILAR
EJ.	EXPANSION JOINT	SPEC.	SPECIFICATIONS
ELEC.	ELECTRICAL	S.S.	STAINLESS STEEL
ELEV.	ELEVATION	STD.	STANDARD
EQ.	EQUAL	STL.	STEEL
EW.	EYE WASH	STOR.	STORAGE
EXIST.	EXISTING	STRUC.	STRUCTURAL
FCB.	FLORIDA BUILDING CODE	SUSP.	SUSPENDED
FDD.	FLOOR DRAIN	T.D.	TRAVEL DISTANCE
FE.	FIRE EXTINGUISHER	TEL.	TELEPHONE
FEC.	FIRE EXTINGUISHER CABINET	TYP.	TYPICAL
F.F.	FINISH FLOOR	U.L.	UNDERWRITERS LAB
FIN.	FINISH	UNQ.	UNLESS NOTED OTHERWISE
FL.	FLOOR	V.C.T.	VINYL COMPOSITE TILE
FP.	FIRE PROTECTION	V.F.	VERFYN FIELD
F.T.	FIRE TREATED	W.	WITH
FT.	FEET/FOOT	W.C.	WATER CLOSURE
FTR.	FIBERGLASS BRAND	W.P.	WATERPROOFING
GALV.	GALVANIZED	YD.	YARD

### FIRE / SMOKE PARTITIONS

**FIRE AND SMOKE BARRIERS IDENTIFICATION (FBC 712.5)**

FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, AND SMOKE PARTITIONS, OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN A MANNER ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION. SUCH IDENTIFICATION SHALL BE ABOVE ANY DECORATIVE CEILING AND IN CONCEALED SPACES, SUGGESTED WORKING "X" FIRE RISE AND/OR 1 HR SMOKE BARRIER - PROTECT ALL OPENINGS AS INDICATED ON LIFE SAFETY PLAN.

**PENETRATIONS THROUGH FIRE BARRIERS**

1. PENETRATIONS THROUGH FIRE BARRIERS AND PARTITIONS SHALL COMPLY WITH FBC 712.4 AND FBC 706.7.

2. DUCTS AND AIR TRANSFER OPENINGS SHALL COMPLY WITH FBC 712, FBC 716, AND FBC 708.3.

**SMOKE PARTITIONS**

1. SMOKE PARTITIONS SHALL EXTEND FROM FLOOR TO THE UNDERSIDE OF THE FLOOR OR ROOF DECK ABOVE OR TO THE UNDERSIDE OF THE CEILING ABOVE WHERE THE CEILING MEMBRANE IS CONSTRUCTED TO LIMIT THE TRANSFER OF SMOKE.

2. SMOKE PARTITIONS SHALL COMPLY WITH FBC 710.

**FIRE / SMOKE BARRIERS**

1. SHALL COMPLY WITH FBC 711.

### EGRESS DATA - TENNIS FACILITY (UNSPRINKLERED)

MAX. TRAVEL DIST.	MAX. DEAD END	MIN. CORRIDOR WIDTH	MIN. CLEAR OPG. EXIT DOORS
BUSINESS (B)	200'	30'	44"
ASSEMBLY (A-3)	200'	30'	44"

### GENERAL PROJECT DATA

**PROJECT LOCATION:** HALLANDALE BEACH, FL.  
**PROJECT SUMMARY:** COMPLETE RENOVATION OF PARK AND TENNIS FACILITY INCLUDING ALL SITE WORK FOR (10) TENNIS COURTS, (2) BASKETBALL COURTS, (1) PLAY GROUND, PARKING AREAS, CONSTRUCTION OF NEW 1 STORY TENNIS BUILDING (3,748 SF) WITH MULTIPURPOSE ROOM, PROSHOP, OFFICES AND RESTROOMS, AS WELL AS THE CONSTRUCTION OF A 1 STORY RESTROOM BUILDING (480 SF) AND A UTILITY BUILDING (400 SF).

**LEGAL DESCRIPTION:** SEE ATTACHED SURVEY.

**APPLICABLE BUILDING CODES**

THE FOLLOWING IS A LIST OF APPLICABLE CODES FOR THE PROJECT, WHERE DIFFERENT REQUIREMENTS ARE SPECIFIED BETWEEN CODES, THE MOST STRINGENT AND RESTRICTIVE REQUIREMENTS ARE APPLICABLE AND ARE NOTED IN THIS OUTLINE.

FLORIDA BUILDING CODE 2017  
 FLORIDA ACCESSIBILITY CODE 2017  
 FLORIDA EXISTING BUILDING CODE 2017  
 FLORIDA BUILDING CODE MECHANICAL 2017  
 FLORIDA BUILDING CODE PLUMBING 2017  
 FLORIDA FIRE PREVENTION CODE 2017

**BUILDING INFORMATION TENNIS BUILDING**

**BUILDING/OWNER:** CITY OF HALLANDALE BEACH, FLORIDA  
**FIRE JURISDICTION:** CITY OF HALLANDALE BEACH, FLORIDA

**OCCUPANCY CLASSIFICATIONS:** MIXED USE-A3 (A-3 MOST RESTRICTIVE) AND B

ASSEMBLY	1,057 SF
BUSINESS	2,679 SF
ROOF PROJECTED AREA	2,121 SF
TYPE OF CONSTRUCTION:	IBS (UNSPRINKLERED)
A-3 MOST RESTRICTIVE	CODE MAX.
BUILDING HEIGHT:	75 FEET
BUILDING AREA:	9,500
NUMBER OF STORES:	3

### BUILDING INFORMATION- STORAGE

**OCCUPANCY CLASSIFICATIONS:**

UTILITY	420 SF	
ROOF PROJECTED AREA	573 SF	
TYPE OF CONSTRUCTION:	VB	
LI-UTILITY	CODE MAX.	PROPOSED
BUILDING HEIGHT:	55 FEET	16'-0"
BUILDING AREA:	8,000 S.F.-FL	420 SF
NUMBER OF STORES:	2	1

### BUILDING INFORMATION- RESTROOMS

**OCCUPANCY CLASSIFICATIONS:** A-6

ASSEMBLY (ROOF PROJECTED AREA)	733 SF	
TYPE OF CONSTRUCTION:	VB	
A-6	CODE MAX.	PROPOSED
BUILDING HEIGHT:	55'	14'-0"
BUILDING AREA:	8,500'	480'
NUMBER OF STORES:	2	1

### FIRE PROTECTION

COMMUNITY CENTER	REQD	PROV.
STRUCTURAL FRAMING	0	0
EXTERIOR BEARING WALLS	0	0
EXTERIOR NONBEARING WALLS - WALLS >30' (TABLE 602)	0	0
INTERIOR BEARING WALLS	0	0
INTERIOR NONBEARING WALLS	0	0
FLOOR/CEILING CONSTRUCTION	0	0
ROOF/CEILING CONSTRUCTION	0	0
VERTICAL OPENINGS (SHAFTS)	0	0
TABLE 803.3 FINISHES		SECTION 808.1

A-3 (MOST RESTRICTIVE)

VERTICAL EXITS CLASS A

EXIST. AND ACCESS CORRIDORS CLASS A

ROOMS ENCLOSED SPACES CLASS C

CURTAINS, DRAPERIES, HANGINGS SHALL BE IN ACCORDANCE WITH SECTION 806.1 AND NFPA 701, OR BE NON-COMBUSTIBLE

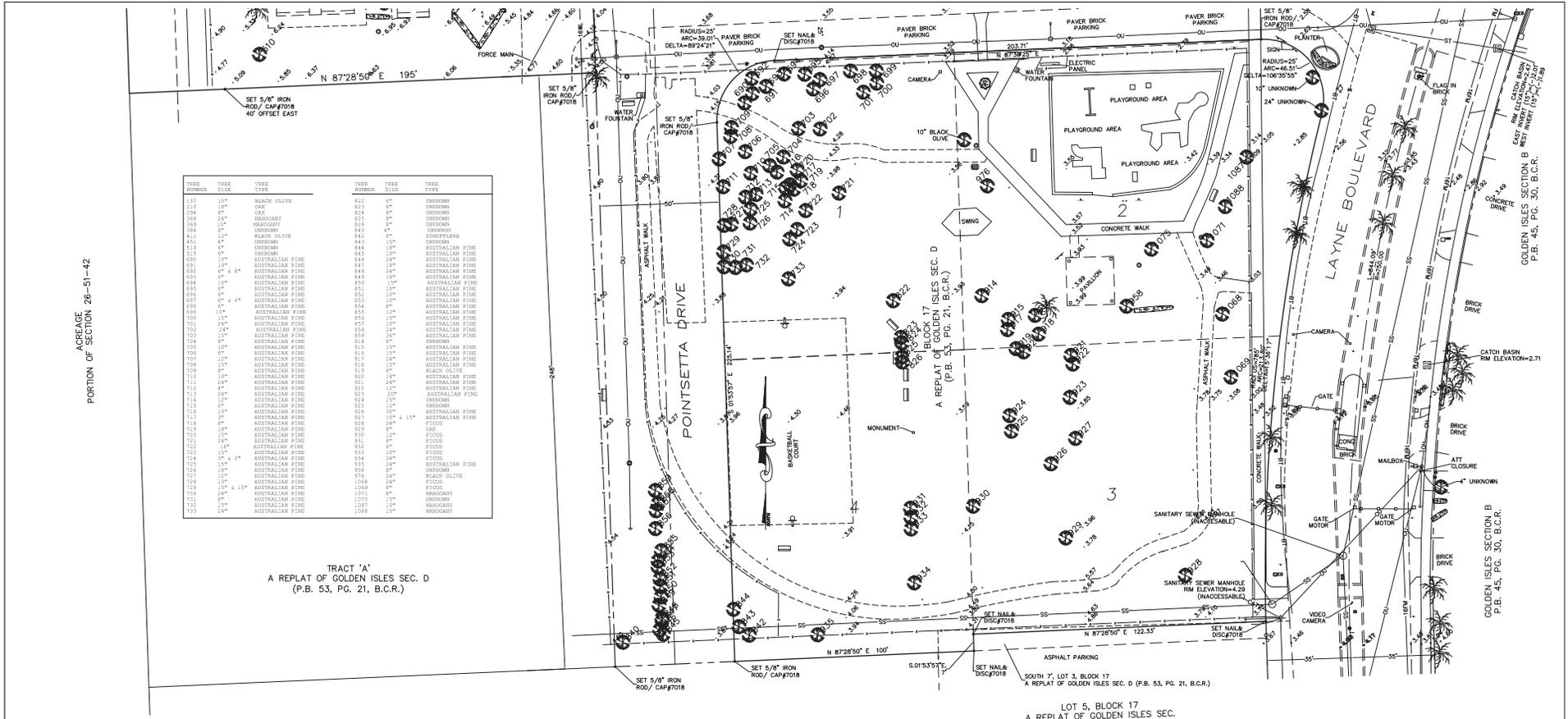
### GENERAL CONSTRUCTION NOTES

- A. CUTTING AND PATCHING:**
- EXAMINE EXISTING CONDITIONS, INCLUDING ELEMENTS SUBJECT TO DAMAGE OR MOVEMENT DURING CUTTING AND PATCHING.
  - AFTER UNCOVERING WORK, ASSESS CONDITIONS AFFECTING GOVERNING AND READY FOR REPAIR.
  - EXECUTE WORK BY METHODS TO AVOID DAMAGE TO OTHER WORK. PATCHING METHODS TO BE USED TO REPAIR SURFACES TO MATCH EXISTING SURFACES.
  - REPAIR WORK TO BE DONE TO MATCH EXISTING SURFACES AND FINISHES.
- C. FINISHES:**
- AT COMPLETION OF WORK IN EACH AREA, CLEAN SPACE TO A CONDITION SUITABLE FOR USE BY OWNER.
- D. CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS:**
- PRIOR TO STARTING WORK, CONTRACTOR SHALL NOTIFY AUTHORITIES AND/OR OWNERS OF EXISTING CONSTRUCTION AND UTILITIES, ON OR ADJACENT TO SITE, THAT MAY BE AFFECTED BY WORK UNDER THIS CONTRACT.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OF UTILITIES AND CONSTRUCTION MADE NECESSARY BY WORK UNDER THIS CONTRACT, WHETHER TEMPORARY OR PERMANENT.
- E. BARRIERS:**
- PROVIDE BARRIERS TO PREVENT UNAUTHORIZED ENTRY TO CONSTRUCTION AREAS AND TO PROTECT EXISTING FACILITIES AND ADJACENT PROPERTIES FROM DAMAGE.
  - PROVIDE BARRIERS AND COVERED WALKWAYS REQUIRED BY GOVERNING AUTHORITIES FOR PUBLIC RIGHTS-OF-WAY.
  - PROTECT NON-OCCUPIED VEHICULAR TRAFFIC, STORED MATERIALS, SITE AND STRUCTURES FROM DAMAGE.
  - PROVIDE TEMPORARY WEATHER-TIGHT CLOSURE TO EXTERIOR OPENINGS, WHEN APPLICABLE, TO PERMIT ACCEPTABLE WORKING CONDITIONS AND PROTECTION OF WORK, AND TO PREVENT ENTRY OF UNAUTHORIZED PERSONS.
  - PROVIDE ACCESS DOORS WITH SELF-CLOSING HARDWARE AND LOCKS. CLOSERS SHALL NOT BLOCK REQUIRED LEGAL EGRESS ROUTES.
- F. SECURITY:**
- PROVIDE SECURITY AND FACILITIES TO PROTECT WORK, EXISTING FACILITIES, AND OWNERS OPERATIONS FROM UNAUTHORIZED ENTRY, VANDALISM OR THEFT. COORDINATE WITH OWNER'S SECURITY PROGRAM.
  - SHOULD IT BE NECESSARY FOR WORK TO BE CONDUCTED ON WEEKENDS OR "OFF HOURS" THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY OF THE PREMISES. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER IN ORDER TO OBTAIN KEYS AND ARRANGE FOR THE RETURN OF KEYS.
- G. PROGRESS CLEANING:**
- MAINTAIN AREAS FREE OF WASTE MATERIALS, DEBRIS, AND RUBBISH. MAINTAIN SITE IN A CLEAN AND CRICKLY CONDITION. REMOVE DEBRIS AND RUBBISH FROM FIRE CHASES, PLenums, CRAWL SPACES, AND OTHER CLOSED OR REMOTE SPACES PRIOR TO ENCLOSING THE SPACE.
  - BROOM AND VACUUM CLEAN INTERIOR AREAS PRIOR TO START OF SURFACE FINISHING, AND CONTINUE CLEANING TO ELIMINATE DUST.
  - UTILIZE STOCK MATS AT ALL POINTS OF EXIT FROM LIMITS OF CONSTRUCTION, MATS TO BE CHANGED OUT AS NECESSARY DURING THE COURSE OF CONSTRUCTION WORK BUT NOT LESS THAN ONCE A DAY.
- H. TEMPORARY CONTROLS:**
- NOISE CONTROL: PROVIDE ALL NECESSARY REQUIREMENTS FOR NOISE CONTROL DURING CONSTRUCTION PERIOD, CONFORM WITH APPLICABLE OSHA REQUIREMENTS AND LOCAL ORDINANCES HAVING JURISDICTION.
  - DUST CONTROL: EXECUTE WORK BY METHODS TO MINIMIZE RAISING DUST FROM CONSTRUCTION OPERATIONS. PROVIDE POSITIVE MEANS TO PREVENT AIRBORNE DUST FROM DISPERSING INTO ATMOSPHERE.
  - DEBRIS CONTROL: MAINTAIN ALL AREAS FREE OF EXTRANEOUS DEBRIS. PROVIDE CONTAINERS FOR DEPOSIT OF DEBRIS.
  - POLLUTION CONTROL: PROVIDE METHODS, MEANS, TOXIC SUBSTANCES, AND POLLUTANTS PRODUCED BY CONSTRUCTION OPERATIONS.
- I. REMOVAL OF UTILITIES, FACILITIES AND CONTROLS:**
- CLEAN AND REPAIR DAMAGE CAUSED BY INSTALLATION OR USE OF TEMPORARY WORK.
- J. CONTRACT CLOSURE:**
- SUBMIT WRITTEN CERTIFICATION THAT CONTRACT DOCUMENTS HAVE BEEN REVIEWED, WORK HAS BEEN INSPECTED, AND THE WORK IS COMPLETE IN ACCORDANCE WITH CONTRACT REQUIREMENTS AND READY FOR RECEIPT BY THE OWNER.
  - PROVIDE SUBMITTALS TO ARCHITECT THAT ARE REQUIRED BY GOVERNING OR OTHER AUTHORITIES.
  - SUBMIT FINAL APPLICATION FOR PAYMENT IDENTIFYING TOTAL ADJUSTED CONTRACT PRICE, PREVIOUS PAYMENTS, AND AMOUNT OF REMAINING DUE.
  - ADJUST OPERATIONS PRODUCTS AND EQUIPMENT TO ENSURE SMOOTH AND UNINTERRUPTED OPERATION AND SYSTEMS USING THE OPERATION AND MAINTENANCE DATA AS THE BASIS OF INSTRUCTION.
  - CONDUCT CLEANING AND DISPOSAL OPERATIONS TO COMPLY WITH LOCAL ORDINANCES AND ANTI-POLLUTION LAWS. ALSO DO NOT DISPOSE OF VOLATILE WASTES SUCH AS MINERAL SPIRITS, OIL OR PAINT THINNER IN STORM OR SANITARY SEWERS. DO NOT DISPOSE OF WASTES INTO STREAMS OR WATERWAYS. USE MATERIALS WHICH WILL NOT CREATE HAZARDS TO HEALTH OR PROPERTY, AND WHICH WILL NOT DAMAGE SURFACES.
  - USE ONLY MATERIALS AND METHODS RECOMMENDED BY MANUFACTURER OF MATERIAL BEING CLEANED.
  - PROVIDE CONTAINERS AND LOCATE ON SITE FOR COLLECTION OF WASTE MATERIALS, RUBBISH AND DEBRIS. WHEN APPLICABLE, PUBLIC PROPERTIES ARE MAINTAINED FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH.
  - USE EXPERIENCED WORKMEN, OR PROFESSIONAL CLEANERS FOR FINAL CLEANING.
  - REMOVE TEMPORARY PROTECTION AND LABELS NOT REQUIRED TO REMAIN.
  - VACUUM CARPET SURFACES AND POLISH HARD SURFACED FLOOR FINISHES INSTALLED OR AFFECTED BY WORK.
  - REMOVE TEMPORARY FILTERS OF VENTILATING EQUIPMENT AND REPLACE DISPOSABLE FILTERS WHEN UNITS HAVE BEEN OPERATED DURING CONSTRUCTION.
  - CLEAN GROUNDS, RECONSTRUCT CURBS AND SIDEWALKS, AND REMOVE WASTE, DEBRIS, AND SURPLUS MATERIALS FROM SITE.
  - CONDUCT SWEEP CLEANING OF ALL SURFACES. REMOVE ALL SUBSTANCES RESULTING FROM CONSTRUCTION WORK FROM PAVED SURFACES. SWEEP CLEAN, RAKE OTHER EXTERIOR SURFACES, AS APPLICABLE.
- K. GENERAL NOTES:**
- ALL WORK TO COMPLY WITH ALL LOCAL, STATE, NATIONAL AND FEDERAL REGULATIONS HAVING JURISDICTION OVER THIS PROJECT.
  - ALL WORK SHALL BE DONE IN ACCORDANCE WITH BUILDING REGULATIONS AND IN A QUALITY WORKMANSHIP MANNER.
  - BEFORE COMMENCING WORK, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS & EXISTING CONDITIONS IN THE FIELD, ANY DISCREPANCY BETWEEN THE EXISTING CONDITIONS & THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE BEGINNING OF PREPARATION OF BID AND START OF WORK.
  - IF FIELD CONDITIONS NECESSITATE ANY CHANGES OR MODIFICATIONS, THE CHANGES OR MODIFICATIONS MUST BE APPROVED BY THE ARCHITECT AND OWNER PRIOR TO PROCEEDING WITH WORK.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE CAUSED BY THE CONSTRUCTION PROCESS.
  - THE CONTRACTOR SHALL COORDINATE ALL APPLICABLE WORK WITH ALL ASSOCIATED TRADES.
  - THE CONTRACTOR SHALL ESTABLISH ALL ITEMS WHICH REQUIRE IMMEDIATE PROCESSING DUE TO LONG LEAD ORDERING TIME. A LIST OF THESE ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND OWNER WITHIN ONE WEEK AFTER THE CONTRACT IS AWARDED.
  - THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE TO THE ARCHITECT AND OWNER WITHIN ONE WEEK AFTER THE AWARD OF THE CONTRACT, AND SHALL PROVIDE AN UPDATED CONSTRUCTION SCHEDULE WITH EACH APPLICATION FOR PAYMENT.
  - ALL SUBCONTRACTORS SHALL SUBMIT SHOP DRAWINGS THROUGH THE CONTRACTOR, ONCE CHECKED, THE CONTRACTOR SHALL SUBMIT THE SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION AND INSTALLATION.
  - MANUFACTURER'S DIRECTIONS FOR APPLICATION, INSTALLATION AND METHODS SHALL BE FOLLOWED ARE HEREWITH MADE A PART OF CONSTRUCTION DOCUMENTS.
  - INSURANCE: THE CONTRACTOR AND EACH SUBCONTRACTOR NEEDS WORKMAN'S COMPENSATION AS REQUIRED BY LAW, AND OWNER REQUIREMENTS AND SUFFICIENT PROTECTION FOR CLAIMS FROM OPERATIONS UNDER CONTRACT.
  - CONTRACTOR IS TO EXERCISE SPECIAL CARE IN THE HANDLING OF MATERIALS, EQUIPMENT AND RUBBISH TO AVOID INCONVENIENCE AND ANNOYANCE TO ADJACENT BUILDINGS AND TENANT AREAS.
  - ALL PHASING AND ALTERNATE DAILY ROUTES DURING CONSTRUCTION SHALL BE DEVELOPED BY THE CONTRACTOR AS PART OF THEIR MEANS AND METHODS, COORDINATE ALL PHASING WITH THE OWNER.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF SAFETY BARRICADES TO ENSURE SAFETY WHILE THE BUILDING DURING CONSTRUCTION IN AREAS OF ALL OBSTRUCTIONS IN CASE OF FIRE OR OTHER EMERGENCY, ALL PENETRATIONS PASSING THROUGH BARRIERS AND ASSEMBLIES SHALL MAINTAIN THE INTEGRITY OF THE EXISTING AND/OR NEW RATED PARTITION PER FBC 711.1.
  - NO SUBSTITUTIONS ARE TO BE MADE WITHOUT APPROVAL BY THE ARCHITECT AND OWNER. CONTRACTOR TO SUBMIT SUBSTITUTE MATERIAL SPECIFICATIONS FOR APPROVAL. IN WRITING TO THE ARCHITECT AND OWNER PRIOR TO COMMENCEMENT OF WORK.
  - CONTRACTOR SHALL HAVE AN ENGLISH-SPEAKING SUPERVISOR REPRESENTATIVE ON THE WORK SITE AT ALL TIMES, WHO SHALL BE THOROUGHLY KNOWLEDGEABLE OF ALL PLANS, SPECIFICATIONS, AND OTHER CONTRACT DOCUMENTS AND HAS THE AUTHORITY TO ACT IN THE CONTRACTOR'S BEHALF.
  - ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED TO THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK.

### PLUMBING FIXTURE CALCULATIONS - COMMUNITY HALL & BUSINESS

REQUIRED OCCUPANCY (OCCUPANTS)	WC	LAV.'S	DRK.	SERVICE SINK
ASSEMBLY A-3 (151)	76 M	76/125=1	76/200=1	1500*
BUSINESS B (16)	76 F	76/65=2	76/200=1	1100=1
TOTAL PLUMBING FIXTURES REQUIRED		16/25=1	16/40=1	
PROVIDED (MEN OR WOMEN/ SINGLE USE)		4	3	2
		4	4	2

\* ADDITIONAL FIXTURES PROVIDED AT RESTROOM BUILDING



TREE NUMBER	TREE SIZE	TREE TYPE	TREE NUMBER	TREE SIZE	TREE TYPE
127	15"	BLACK OLIVE	222	6"	UNKNOWN
210	18"	CAJ	223	6"	UNKNOWN
294	8"	OG	224	8"	UNKNOWN
368	24"	MARGUARY	225	8"	UNKNOWN
369	10"	MARGUARY	226	8"	UNKNOWN
384	8"	UNKNOWN	227	4"	UNKNOWN
411	18"	BLACK OLIVE	242	4"	SCOFFLARIA
451	4"	UNKNOWN	243	15"	UNKNOWN
452	4"	UNKNOWN	244	18"	AUSTRALIAN PINE
490	10"	AUSTRALIAN PINE	245	24"	AUSTRALIAN PINE
491	10"	AUSTRALIAN PINE	246	18"	AUSTRALIAN PINE
492	10"	AUSTRALIAN PINE	247	24"	AUSTRALIAN PINE
493	6" x 8"	AUSTRALIAN PINE	248	18"	AUSTRALIAN PINE
494	10"	AUSTRALIAN PINE	249	15"	AUSTRALIAN PINE
495	4"	AUSTRALIAN PINE	250	10"	AUSTRALIAN PINE
496	4"	AUSTRALIAN PINE	251	10"	AUSTRALIAN PINE
497	4" x 4"	AUSTRALIAN PINE	252	10"	AUSTRALIAN PINE
498	6"	AUSTRALIAN PINE	253	10"	AUSTRALIAN PINE
499	10"	AUSTRALIAN PINE	254	6"	AUSTRALIAN PINE
500	10"	AUSTRALIAN PINE	255	10"	AUSTRALIAN PINE
501	10"	AUSTRALIAN PINE	256	10"	AUSTRALIAN PINE
502	24"	AUSTRALIAN PINE	257	10"	AUSTRALIAN PINE
503	15"	AUSTRALIAN PINE	258	24"	AUSTRALIAN PINE
504	8"	AUSTRALIAN PINE	259	36"	AUSTRALIAN PINE
505	10"	AUSTRALIAN PINE	260	15"	UNKNOWN
506	4"	AUSTRALIAN PINE	261	15"	AUSTRALIAN PINE
507	10"	AUSTRALIAN PINE	262	24"	AUSTRALIAN PINE
508	10"	AUSTRALIAN PINE	263	15"	AUSTRALIAN PINE
509	8"	AUSTRALIAN PINE	264	8"	BLACK OLIVE
510	10"	AUSTRALIAN PINE	265	18"	AUSTRALIAN PINE
511	24"	AUSTRALIAN PINE	266	24"	AUSTRALIAN PINE
512	4"	AUSTRALIAN PINE	267	12"	AUSTRALIAN PINE
513	24"	AUSTRALIAN PINE	268	20"	AUSTRALIAN PINE
514	12"	AUSTRALIAN PINE	269	15"	UNKNOWN
515	4"	UNKNOWN	270	12"	UNKNOWN
516	10"	AUSTRALIAN PINE	271	30"	AUSTRALIAN PINE
517	8"	AUSTRALIAN PINE	272	12"	AUSTRALIAN PINE
518	18"	AUSTRALIAN PINE	273	4" x 15"	UNKNOWN
519	18"	AUSTRALIAN PINE	274	24"	CAJ
520	15"	AUSTRALIAN PINE	275	18"	CAJ
521	24"	AUSTRALIAN PINE	276	8"	CAJ
522	15"	AUSTRALIAN PINE	277	8"	CAJ
523	15"	AUSTRALIAN PINE	278	10"	CAJ
524	15" x 4"	AUSTRALIAN PINE	279	10"	CAJ
525	15"	AUSTRALIAN PINE	280	24"	CAJ
526	15"	AUSTRALIAN PINE	281	24"	CAJ
527	10"	AUSTRALIAN PINE	282	24"	CAJ
528	10"	AUSTRALIAN PINE	283	24"	CAJ
529	10"	AUSTRALIAN PINE	284	24"	CAJ
530	24"	AUSTRALIAN PINE	285	8"	MARGUARY
531	8"	AUSTRALIAN PINE	286	12"	UNKNOWN
532	15"	AUSTRALIAN PINE	287	10"	MARGUARY
533	24"	AUSTRALIAN PINE	288	12"	MARGUARY

TRACT 'A'  
A REPLAT OF GOLDEN ISLES SEC. D  
(P.B. 53, PG. 21, B.C.R.)

ACREAGE  
PORTION OF SECTION 26-51-42

LOT 5, BLOCK 17  
A REPLAT OF GOLDEN ISLES SEC. D  
(P.B. 53, PG. 21, B.C.R.)

NOTE: SEE SHET 2 OF 3 FOR NOTES, DESCRIPTION AND LEGEND.

CITY OF HALLANDALE BEACH

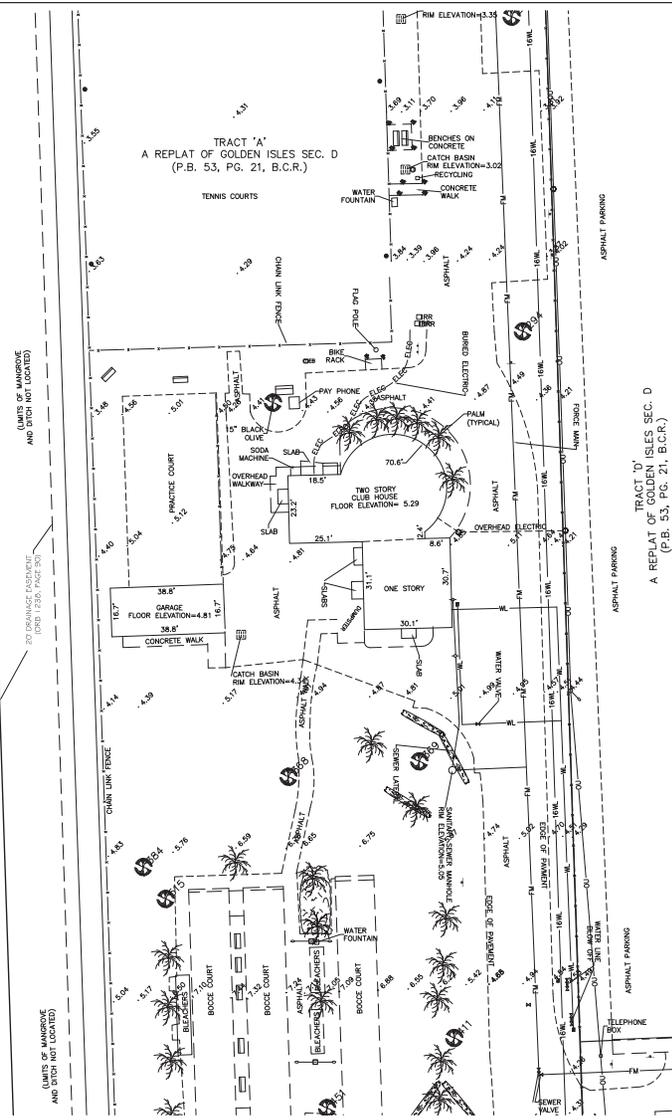
FEMA FLOOD INSURANCE RATE MAP		COMMUNITY NO.		REVISION		DATE		BY	
CITY OF HALLANDALE BEACH		NA							
BROWARD COUNTY, FLORIDA		NA							
PANEL NO.	SUFFIX	ZONE	FIRM DATE	BASE ELEV.	LOWEST PLR. ELEV.	AVG. GRD.			
NA	NA	NA	NA	NA	NA	NA			

BOUNDARY AND TOPOGRAPHIC SURVEY		
JOB #: RN2616	DATE: 02-17-16	DRAWN: SHG
SCALE: 1"=20'	SHEET 1 OF 3	CHECKED BY: SKS
NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER		

STEPHEN K. SEELEY, FOR THE FIRM  
PROFESSIONAL SURVEYOR & MAPPER  
FLORIDA REGISTRATION NO. 4574

GIBBS LAND SURVEYORS  
2131 HOLLYWOOD BOULEVARD, SUITE 204  
HOLLYWOOD, FL 33020 (954) 923-7666  
LICENSED BUSINESS NO. 7018

AGREASE SECTION 26-51-42  
PORTION OF SECTION



TRACT 'A'  
A REPLAT OF GOLDEN ISLES SEC. D  
(P.B. 53, PG. 21, B.C.R.)



LEGEND		LEGEND	
	FLAG POLE		CONCRETE POWER POLE
	CABLE TV RISER		METAL FENCE
	TELEPHONE RISER		WOOD FENCE
	SMEZE CONNECTION		BURIED CABLE
	BACKFLOW PREVENTOR		BURIED TELEPHONE
	BOLLARD		BURIED FORCE MAIN
	ELECTRIC BOX		BURIED WATER LINE
	METAL LIGHT POLE		BURIED ELECTRIC
	GATE VALVE/TOP VALVE/TOP UD		BURIED GAS LINE
	WATER METER		OVERHEAD UTILITY
	FIRE HYDRANT ASSEMBLY		CENTERLINE
	MANHOLE - SEE SURVEY		RIGHT-OF-WAY LINE
	CB		LIMITED ACCESS RIGHT-OF-WAY LINE
	WOOD POWER POLE		CONCRETE WALL
	CONCRETE POWER POLE		PVC FENCE
	ANCHOR/GUY WIRE		OVERHEAD SIGNALS
	CONCRETE LIGHT POLE		REUSED WATERLINE
	TRAFFIC SIGN POST		
	CLEANOUT		
	MAIL BOX		

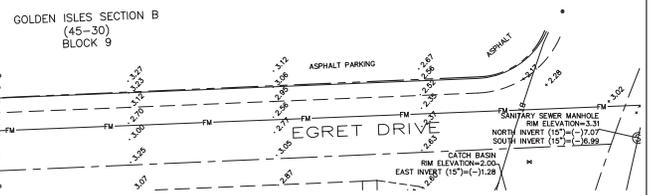
**UTILITY DISCLAIMER:**

WITH REGARD TO OBSERVED EVIDENCE (SURVEYED LOCATIONS) OF ALL UTILITIES SHOWN ON THIS SURVEY:  
 INFORMATION FROM PLANS AND MARKINGS HAVE BEEN COMBINED WITH ABOVE-GROUND, VISIBLE EVIDENCE OF UTILITIES, TO DEVELOP A VIEW OF UNDERGROUND UTILITIES, (AS SHOWN HEREON BY THEIR RESPECTIVE LINE TYPES). HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS HEREBY ADVISED THAT EXCAVATION MAY BE NECESSARY.



- NOTES:
- 1) THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT. EASEMENTS AND RIGHTS-OF-WAY PER RECORD PLAT HAVE BEEN SHOWN HEREON. NO FURTHER SEARCH FOR MATTERS OF RECORD HAS BEEN MADE BY THIS FIRM.
  - 2) THIS SURVEY IS PREPARED FOR THE SOLE AND EXCLUSIVE USE OF THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL.
  - 3) ELEVATIONS SHOWN IN THIS REGION ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
  - 4) BENCHMARK REFERENCES:  
 NGS MONUMENT RD AD4634, ELEVATION=7.30, NAVD83 AT INTERSECTION OF DOIE HIGHWAY AND N.W. 6TH STREET.  
 NGS MONUMENT RD AD4633, ELEVATION=7.69, NAVD83 AT INTERSECTION OF DOIE HIGHWAY AND S.W. 2ND STREET.
  - 5) NORTH ARROW RELATIVE TO ASSUMED S.87°54'33"W: ALONG THE SOUTH RIGHT-OF-WAY LINE OF HALLANDALE BEACH BOULEVARD.
  - 6) HORIZONTAL CONTROL DATA RELATIVE TO FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (1990 ADJUSTMENT).
  - 7) UNDERGROUND UTILITIES SHOWN PER LOCATION OF MARKINGS IN FIELD AND PER CITY OF HALLANDALE BEACH UTILITY MAPS AND ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE SHOWN IN APPROXIMATE LOCATION. CALL SUNSHINE STATE ONE FOR LOCATES PRIOR TO CONSTRUCTION FOR EXACT LOCATIONS.
  - 8) UNDERGROUND UTILITY PIPE SIZES AND TYPES SHOWN PER CITY OF HALLANDALE BEACH UTILITY DRAWINGS.
  - 9) SEE SHEET 1 OF 3 FOR TREE SCHEDULE.

DESCRIPTION: LOT 3, LESS THE SOUTH 7.00 FEET THEREOF, AND ALL OF LOTS 1, 2 AND 4, BLOCK 17, TOGETHER WITH TRACT 'A', LESS THE NORTH 27.00 FEET THEREOF AND LESS THE SOUTH 248.00 FEET THEREOF; "A" REPLAT OF GOLDEN ISLES SEC. D", ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 53, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



CITY OF HALLANDALE BEACH

FEMA FLOOD INSURANCE RATE MAP	COMMUNITY NO.
CITY OF HALLANDALE BEACH	NA
BROWARD COUNTY, FLORIDA	NA
PANEL NO.	FIRM
SUFFLN ZONE	DATE
NA	NA

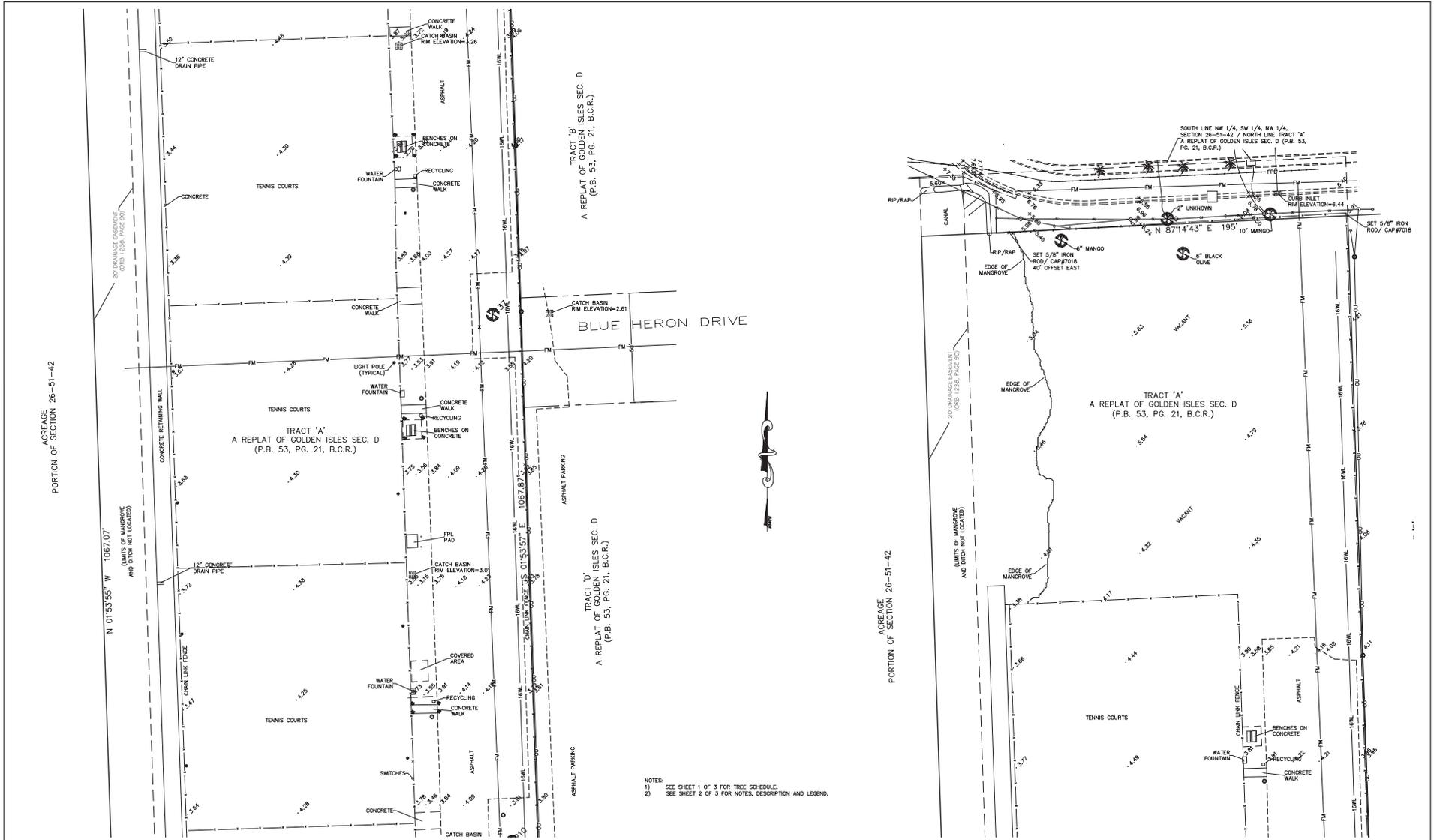
REVISION	DATE	BY

BOUNDARY AND TOPOGRAPHIC SURVEY		
JOB #: RN6G16	DATE: 2-17-16	DRAWN: SHG/MB
SCALE: 1"=20'	SHEET 2 OF 3	CHECKED BY: SKS

STEPHEN K. SEELY, FOR THE FIRM  
 PROFESSIONAL SURVEYOR & MAPPER  
 FLORIDA REGISTRATION NO. 4574

**GIBBS LAND SURVEYORS**  
 2131 HOLLYWOOD BOULEVARD, SUITE 204  
 HOLLYWOOD, FL 33020 (954) 923-7666  
 LICENSED BUSINESS NO. 7018

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER



CITY OF HALLANDALE BEACH

FEMA FLOOD INSURANCE RATE MAP	COMMUNITY NO.
CITY OF HALLANDALE BEACH	
BROWARD COUNTY, FLORIDA	NA
PANEL NO.	FIRM
SUFFIX	BASE
ZONE	DATE
NA	NA

REVISION	DATE	BY

BOUNDARY AND TOPOGRAPHIC SURVEY		
JOB #: RN8616	DATE: 02-17-16	DRAWN: SHG
SCALE: 1"=20'	SHEET 3 OF 3	CHECKED BY: SKS
NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER		

STEPHEN K. SEELEY, FOR THE FIRM  
PROFESSIONAL SURVEYOR & MAPPER  
FLORIDA REGISTRATION NO. 4574

**GIBBS LAND SURVEYORS**  
2131 HOLLYWOOD BOULEVARD, SUITE 204  
HOLLYWOOD, FL 33020 (954) 923-7666  
LICENSED BUSINESS NO. 7018



Project Status	Issue Date
DRCS SUBMITTAL	04/11/18
60% SUBMITTAL	05/29/18
CDMHS SET	07/06/18
DRCS SUBMITTAL	08/14/18
DRCS SUBMITTAL	09/15/19

REVISION SCHEDULE		
NO	DESCRIPTION	DATE

PROJECT IN CHARGE  
 CHAD E. EDWARDS, P.E.  
 REGISTRATION NUMBER 90306  
 APPROVED BY  
 DESIGNED BY MK  
 DRAWN BY MK  
 CHECKED BY CE



DESIGN CONSULTANT

GOLDEN ISLES TENNIS CENTER

Hallandale Beach, FL

CLIENT PROJECT NUMBER: 17-0004  
 PROJECT ID - SUBMISSION NUMBER: 17-0004

GENERAL NOTES & SPECIFICATIONS

SHEET TITLE



17-0004  
 PROJECT NUMBER

C-2

"I HEREBY CERTIFY THAT THE INFORMATION HEREON IS RELATIVE TO THE NORTH AMERICAN HORIZONTAL DATUM (NAVD83)."

AC001323 EB0004375 CG0010769  
 217 W. Cooper Creek Rd., Suite 203  
 Fort Lauderdale, FL 33309  
 (954) 848-1000 Fax: (954) 848-5088  
 www.acaiworld.com  
 ARCHITECT OF RECORD

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 www.acaiworld.com  
 ARCHITECT OF RECORD

**I. SPECIFIC SITE NOTES**

- A. "NOT" IN THESE NOTES REFERS TO THE CITY OF HALLANDALE BEACH.
- B. "COUNTY" IN THESE NOTES REFERS TO BROWARD COUNTY.
- C. "STATE" IN THESE NOTES REFERS TO THE STATE OF FLORIDA.

**II. APPLICABLE CODES**

- A. ALL CONSTRUCTION MATERIALS SHALL CONFORM TO CITY STANDARDS AND SPECIFICATIONS, AND ALL OTHER LOCAL, STATE AND NATIONAL CODES WHERE APPLICABLE. ALL CONSTRUCTION WITHIN FOOT ROW SHALL BE CONSTRUCTED PER FOOT MINIMUM STANDARDS. ALL CONSTRUCTION WITHIN ROW SHALL BE CONSTRUCTED PER COUNTY MINIMUM STANDARDS.
- B. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL THE REQUIREMENTS OF FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATIONS.
- C. ALL ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), UNLESS OTHERWISE NOTED.
- D. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO CITY, COUNTY AND/OR FEDERAL SPECIFICATIONS (WHICHEVER APPLIES).
- E. CITY, COUNTY AND/OR FEDERAL SPECIFICATIONS SHALL PREVAIL IN THE EVENT OF ANY OF THE FOLLOWING SPECIFICATIONS.
- F. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLIANCE WITH THE STATE OF FLORIDA TRENCH SAFETY ACT.

**III. PRECONSTRUCTION RESPONSIBILITIES**

- A. UPON THE RECEIPT OF THE NOTICE TO PROCEED, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILIZATION NUMBER, THE OWNER AND THE ENGINEER OF RECORD.
- B. THE CONTRACTOR SHALL OBTAIN A SUNSHINE STATE ONE CALL OF FLORIDA CERTIFICATION NUMBER AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION. CALL 1-800-432-4370.
- C. ALL UTILITY AGREEMENTS TO BE SECURED PRIOR TO CONSTRUCTION (IF REQUIRED).
- D. LOCATION OF EXISTING FACILITIES AS SHOWN ON CONSTRUCTION DRAWINGS ARE DRAWN FROM AVAILABLE RECORDS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE FACILITIES SHOWN OR FOR ANY FACILITY NOT SHOWN. THE CONTRACTOR SHALL VERIFY, IF POSSIBLE, THE ELEVATIONS AND LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION. IF AN EXISTING FACILITY IS FOUND TO CONFLICT WITH THE PROPOSED CONSTRUCTION UPON EXAMINATION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD SO THAT APPROPRIATE MEASURES CAN BE TAKEN TO RESOLVE THE PROBLEM.
- E. A SEPARATE CALCULATED SITE PLAN WILL BE REQUIRED PRIOR TO CONSTRUCTION TO VERIFY PROPOSED BUILDING, CURB, AND SITE WORK LOCATIONS.
- F. AT LEAST TWO (2) DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT A COP "NOTICE OF INTENT (NO I)" TO USE GENERAL PERMIT FROM CONSTRUCTION ACTIVITIES THAT DISTURB OR AFFECT OR REMOVE OR LIFT (NO I) FORM (SFP FORM 2461-300A)(NO I) TO PEOP NOTES FORM. THE CONTRACTOR WILL BE RESPONSIBLE FOR (1) IMPLEMENTATION OF A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) TO BE SUBMITTED PRIOR TO THE START OF CONSTRUCTION, AND (2) RETENTION OF RECORDS REQUIRED BY THE PERMIT, INCLUDING RETENTION OF A COPY OF THE SWPPP FOR THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION, A "NOTICE OF TERMINATION (NO T)" OF GENERAL PERMIT COVERAGE" FORM (SFP FORM 2461-300B)(NO I) TO PEOP NOTES FORM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISIONS OF CHAPTER 62G1, CONSTRUCTION. FOR ADDITIONAL INFORMATION SEE PEOP WEBSITE: <http://www.flhhs.com/peop>. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN APPROVAL AND COMPLY WITH ALL PROVISIONS OF CHAPTER 62G1.
- G. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED DEWATERING PERMITS AND TIE REMOVAL / RELOCATION PERMITS.

**IV. INSPECTIONS**

- A. THE CONTRACTOR SHALL NOTIFY THE CITY'S ENGINEERING DEPARTMENT, COUNTY, THE ENGINEER OF RECORD, FOOT, AND ANY OTHER GOVERNMENTAL AGENCIES CONCERNED AT LEAST 24 HOURS PRIOR TO BEGINNING CONSTRUCTION AND PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS, WHERE APPLICABLE:
  - CLEARING AND FILLING
  - STORM DRAINAGE SYSTEM
  - SANITARY SEWER SYSTEM
  - WATER DISTRIBUTION SYSTEM
  - LIIMEROCK BASE
  - CONCRETE / PAVER BRICK COURSE
  - SIDEWALK
  - FINAL

**V. SHOP DRAWINGS**

- A. PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD FOR THE FOLLOWING: SANITARY MANHOLES, STORM DRAIN MANHOLES, CATCH BASINS, FIRE HYDRANTS, PIPING, VALVES AND ALL RELATED ACCESSORIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVALS IF REQUIRED.

**VI. TEMPORARY FACILITIES**

- A. TELEPHONE FACILITIES:
  - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES, TELEPHONE SERVICES AND ELECTRICITY.
- B. TRAFFIC REGULATION:
  - MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH M.U.T.C.D.
  - ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
  - NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT EXPRESS PERMISSION OF THE CITY.
  - IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR FOR ANY NECESSARY CONSTRUCTION, PAVEMENT MARKING AND SIGNAGE OR IN ANY TEMPORARY SIGNALIZATION AND/OR SIGNAL MODIFICATION TO ACCOMMODATE AN ALTERNATE FASH WAY ROUTE.

**VII. WATER DISTRIBUTION SYSTEM**

- A. CITY STANDARDS AND SPECIFICATIONS SHALL GOVERN & SUPERSEDE ALL OTHER REQUIREMENTS FOR WATERMAIN CONSTRUCTION.
- B. SEPARATION OF WATER AND SEWER MAINS:
  - SANITARY SEWERS, STORM SEWERS, AND FORCE MAINS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. SANITARY SEWERS, STORM SEWERS, AND FORCE MAINS CROSSING WATER MAINS SHALL BE MADE TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE WHENEVER POSSIBLE.
  - WHERE SANITARY SEWERS, STORM SEWERS, OR FORCE MAINS MUST CROSS A WATER MAIN WITH LESS THAN 18 INCHES VERTICAL DISTANCE, BOTH THE SEWER AND THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF INCHES MUST BE MAINTAINED AT ALL CROSSINGS.
  - ALL CROSSING SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING PIPES CENTERED UNDER THE CROSSING.
  - WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE WITH LESS THAN 18 INCHES VERTICAL CLEARANCE, THE NEW PIPE SHALL BE CONSTRUCTED OF DIP, AND THE CROSSING SHALL BE ARRANGED TO MEET THE REQUIREMENTS ABOVE.
  - A MINIMUM 14"X10" HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
  - WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10' HORIZONTAL SEPARATION, THE WATER MAIN MUST BE MADE TO BE A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ANGLE THAT THE TOP OF THE WATER MAIN IS AT LEAST 6" ABOVE THE TOP OF THE SEWER.
  - WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR THE FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL DISTANCE OF 18 INCHES. THE WATER MAIN SHALL ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
- C. MATERIALS:
  - ALL PIPE LARGER THAN 12" DIAMETER MUST BE DUCTILE IRON PIPE, CLASS 50, 8" AND 10" DIP, MINIMUM CLASS 50, 4" AND 6" DIP, MIN. CLASS 150. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSII/AWWA C151-02 AND CEMENT MORTAR LINING AND SEAL COATED PER ANSII/AWWA C1042-1.4-03. SEE CITY AND COUNTY STANDARDS & SPECIFICATIONS FOR FURTHER D.I.P. REQUIREMENTS.
  - FITTINGS SHALL BE COMPACT DUCTILE IRON MECHANICAL JOINT TYPE AND SHALL BE CLASS 350, RATED 24" CONFORMING TO ANSII/AWWA C1512-01.50-01 SPECIFICATIONS. FITTINGS MUST BE GASKET LINED AND SEAL COATED PER ANSII/AWWA C1042-1.4-03.
  - VALVES SHALL BE GATE VALVES, IRON BODY, FULLY RESULT SEAT BRONZE MOUNTED NON-RISING STEM, RATED AT 150 PSI AND CONFORMING TO ANSII/AWWA C151-02 OR LATEST REVISION, AND SHALL HAVE MECHANICAL JOINTS.
  - GATE VALVES 4" OR LARGER SHALL BE MULLER & HELS. RESULT SEATED GATE VALVES SHALL BE AMERICAN AF2000 LINE OR CLOW F-4100, CONFORMING TO ANSII/AWWA C502-02. SEE COUNTY AND CITY CONSTRUCTION STANDARDS & SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
  - TAPPING VALVES SHALL BE MULLER H&H OR APPROVED EQUAL.
  - GATE VALVES 3" OR LESS SHALL BE MULLER T-103 OR T-109 WITH MILLERIANE HAND WHEELS. NO SUBSTITUTIONS ALLOWED.
  - TAPPING REEVES SHALL BE MULLER H&H, CLOW F-2006 OR APPROVED EQUAL. SEE COUNTY, AND CITY CONSTRUCTION STANDARDS & SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
  - VALVE BODIES SHALL BE US FOUNDRIES 7500 DR APPROVED EQUAL.
  - RETAINERS GLASSES SHALL CONFORM TO ANSII/AWWA C115-01/11-02 OR LATEST REVISION. ALL GLASS SHALL BE MANUFACTURED FROM DUCTILE IRON AS LISTED BY UNDERWRITERS LABORATORIES FOR 250 PSI MINIMUM WATER PRESSURE RATING. CLOW CORPORATION MODEL F-1100, STANDARD FIRE PROTECTION EQUIPMENT COMPANY OR APPROVED EQUAL.
  - DRESSER COUPLINGS SHALL BE REGULAR BLACK COUPLINGS WITH PLAN GASKETS FOR GALVANIZED STEEL PIPE. THEY SHALL BE DRESSER STYLE NO. 10 SUBSTITUTIONS ALLOWED.
  - FIRE HYDRANTS SHALL BE MULLER CENTURION TRAFFIC TYPE #422 WITH 5 1/4" INTERNAL VALVE OPENING OR APPROVED EQUAL. BACKFLOW PREVENTERS SHALL BE THE WATER DEPARTMENT BURNER HAZZLE. BURNER HAZZLES SHALL BE MANUFACTURED AS ALL VALVES TO BE INSTALLED WITH CONSTRUCTION. WATER DEPARTMENT GLASS ARE PREFERRED FOR RESTRAINING. FIRE HYDRANT SHALL COMPLY WITH ANSII/AWWA C502-06. SEE COUNTY AND CITY CONSTRUCTION STANDARDS & SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

**D. SERVICE CONNECTION**

- 1. SERVICE SADES SHALL BE STAINLESS STEEL STRAPS. SADDLES SHALL BE DOUBLE STRAP TYPE. ALL SERVICE SADDLES SHALL CONFORM TO ANSII/AWWA C111421-11-00 AND ASTM A588.
- 2. SERVICE LINES SHALL BE POLYETHYLENE (PE) 200 PSI RATED, 300 PSI JOINTS SHALL BE OF THE COMPRESSION TYPE TOTALLY COVERED BY PE SEAL AND COUPLING NUT.
- 3. CORPORATION STOPS SHALL BE MANUFACTURED OF BRASS ALLOY IN ACCORDANCE WITH ASTM B42 WITH THRESSED ENDS, AS MANUFACTURED BY MUELLER OR APPROVED EQUAL.
- 4. CURB STOPS SHALL BE MUELLER H1020 OR APPROVED EQUAL.
- 5. METER STOPS SHALL CONFORM TO TYPE AND SHALL BE OF BRONZE CONSTRUCTION IN ACCORDANCE WITH ASTM B42. METER STOPS SHALL BE CLOSED BOTTOM DESIGN AND RESIST "Y" RING SEAL AGAINST EXTERNAL LEAKAGE AT THE TOP. STOPS SHALL BE EQUIPPED WITH WATER COUPLING NUT ON THE OUTLET SIDE, AS MANUFACTURED BY MUELLER OR APPROVED EQUAL.

**E. INSTALLATION**

- 1. ALL PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UN-BELL PLASTIC PIPE ASSOCIATIONS' GUIDE FOR INSTALLATION OF PIPE PRESSURE PIPE FOR MANUAL WATER SUPPLY SYSTEMS. SEE COUNTY AND CITY CONSTRUCTION STANDARDS & SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- 2. ALL DIP SHALL BE INSTALLED IN ACCORDANCE WITH ANSII/AWWA C500-05 OR LATEST REVISION.
- 3. ALL WATER MAINS SHALL BE MADE WITH A MINIMUM 30" COVER FOR PVC AND 36" FOR DIP.
- 4. NO CONNECTIONS TO EXISTING LINES SHALL BE MADE UNTIL PRESSURE TESTS & BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED AND THE SYSTEM IS ACCEPTABLE TO THE CITY OR COUNTY HEALTH DEPARTMENT.
- 5. PIPE DEFLECTION SHALL NOT EXCEED 75% OF THE MAXIMUM DEFLECTION RECOMMENDED BY THE MANUFACTURER.
- 6. A CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED. BACKFILL MATERIAL SHALL BE TAMPED IN LAYERS ABOVE THE PIPE AS SHOWN ON THE PLANS. STONES FOUND IN THE TRENCH SHALL BE REMOVED TO A DEPTH OF AT LEAST 6" BELOW THE BOTTOM OF THE PIPE.
- 7. ALL VALVES SHALL BE INSTALLED WITH ADJUSTABLE CAST IRON VALVE BOXES WITH THE WORD "WATER" CAST IN THE COVER. U.S.F. OR APPROVED EQUAL.
- 8. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-355.303, FAC.

**F. TESTING**

- 1. FOR TESTING REQUIREMENTS SEE CITY AND COUNTY CONSTRUCTION STANDARDS & SPECIFICATIONS.
- 2. BEFORE ANY PHYSICAL CONNECTIONS TO THE EXISTING WATER MAINS ARE MADE, THE COMPLETE WATER SYSTEM SHALL BE PRESSURE TESTED AND DISINFECTED. HYDROSTATIC TESTING OF NEW MAINS SHALL BE PERFORMED AT A MINIMUM STARTING PRESSURE OF 150 PSI FOR TWO HOURS IN ACCORDANCE WITH ANSII/AWWA C500-05 OR LATEST REVISION. THE PRESSURE TEST SHALL VARY MORE THAN 1 PSI DURING THE TEST.
- 3. THE PRESSURE TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF THE CITY OR COUNTY AND THE ENGINEER OF RECORD.
- 4. RUBBER GASKETS ON OTHER MANUFACTURER SUPPLIED JOINT SEALS SHALL BE USED FOR ADDITIONAL REQUIREMENTS SEE CITY AND COUNTY STANDARDS & SPECIFICATIONS. HYDROSTATIC TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH THE ANSII/AWWA C500-05, 19" CITY AND MMS. MINIMUM STARTING PRESSURE. TEST METERS REQUIRED SHALL BE MADE TO NEW LINES AFTER TWO HOURS OF PRESSURE, AND COPIES OF RESULTS HAVE BEEN RECEIVED BY THE ENGINEER, CITY AND MMS.
- 5. SAMPLING POINTS SHALL BE PROVIDED AT THE LOCATIONS SHOWN ON THE PLANS. IF NOT SPECIFIED, SAMPLING POINTS SHALL BE PROVIDED AT INTERVALS OF 1200' MAXIMUM FOR LINES GREATER THAN 1200' IN LENGTH.
- 6. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA:  

$$L = \frac{D \times S \times P \times L}{14000}$$
 IN WHICH L EQUALS THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR, S EQUALS LENGTH OF PIPE (LINEAR FEET), D EQUALS NOMINAL DIAMETER OF PIPE (INCHES) AND EQUALS THE MINIMUM TEST PRESSURE (POUNDS PER SQUARE INCH).

**VIII. GRAVITY SEWER COLLECTION SYSTEM**

- A. CITY AND COUNTY CONSTRUCTION STANDARDS & SPECIFICATIONS SHALL GOVERN & SUPERSEDE ALL OTHER REQUIREMENTS FOR SANITARY SEWER COLLECTION SYSTEM.
- B. GENERAL:
  - DISTANCE AND LENGTHS SHOWN ON PLANS ARE REFERENCED TO THE CENTER OF STRUCTURES.
- C. MATERIALS:
  - ALL SEWER PIPE AND FITTINGS SHALL BE PVC PIPE CONFORMING TO ASTM D 3034, 80#-35, WITH PUSH-ON RUBBER GASKET JOINTS, UNLESS OTHERWISE NOTED. ALL FITTINGS SHALL BE CAST IRON. ALL MANHOLES SHALL BE PRECAST PER ASTM C 478 WITH 4,000 PSI CONCRETE AND GRADE 60 STEEL. MANUALLY CAST POURED BASES ONLY.
  - MANHOLES SHALL BE TO BE SEALED WITH ANHYDRIDE CEMENT OR APPROVED EQUAL, NO MOLDING PLASTER.
- D. INSTALLATION:
  - PVC SEWER PIPE SHALL BE LAD IN ACCORDANCE WITH ASTM D 2321 AND THE UN-BELL PLASTIC PIPE ASSOCIATIONS' RECOMMENDED PRACTICE FOR THE INSTALLATION OF PVC SEWER PIPE.
  - DUCTILE IRON PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ANSII/AWWA C500-05 OR LATEST REVISION.
  - PVC MANHOLE ADAPTOR SHALL BE GROUED IN PLACE AT EACH PIPE CONNECTION INTO A MANHOLE WALL.
  - MANHOLES SHALL BE SET PLUMB TO LINE AND GRADE ON FIRM SUBGRADE PROVIDING UNIFORM BEARING UNDER THE MANHOLE.
  - ALL OPENINGS AND JOINTS SHALL BE SEALED WATER TIGHT.
  - THE ENTIRE INTERIOR AND OUTSIDE OF THE MANHOLES SHALL BE PAINTED WITH TWO COATS OF DIFFERENT COLORS (B) IN EACH CASE OF 100% COPPER BITUMATIC PAINT OR ENGINEERS APPROVED EQUAL.
- E. TESTING:
  - AFTER CONSTRUCTION OF THE SEWER SYSTEM, THE ENGINEER MAY REQUIRE A VISUAL INFILTRATION AND/OR EXPILTRATION TEST TO BE PERFORMED ON THE ENTIRE SYSTEM OR ON ANY PART THEREOF.
  - AN AIR TEST MAY BE SUBSTITUTED FOR THE WATER EXPILTRATION TEST UPON APPROVAL OF THE ENGINEER.
  - MANHOLE LEAKAGE TEST SHALL NOT EXCEED FOUR GALLONS PER DAY PER UNIT, NO VISIBILE LEAKAGE ALLOWED.
  - SEWER PIPE LEAKAGE TEST SHALL NOT EXCEED 150 GALLONS PER PER INCH DIAMETER PER LINE IN A TWO HOUR TEST PERIOD FOR ANY SECTION TESTED. NO VISIBILE LEAKAGE SHALL BE ALLOWED.
  - ALL SEWER PIPE SHALL BE VIDEO RECORDED AND GIVEN 10% FOR REVIEW AND APPROVAL AT THE CONTRACTORS EXPENSE.
  - SEE COUNTY AND CITY CONSTRUCTION STANDARDS & SPECIFICATIONS FOR ADDITIONAL TESTING REQUIREMENTS.

**IX. STORM DRAINAGE**

- A. GENERAL:
  - DISTANCES AND LENGTHS SHOWN ON PLANS ARE REFERENCED TO THE CENTER OF STRUCTURES.
- B. MATERIALS:
  - REINFORCED CONCRETE PIPE (R.C.P.) AND HP STORM PIPE SHALL MEET THE REQUIREMENTS OF ASTM C76, LATEST REVISION. RUBBER GASKETS ON OTHER MANUFACTURER SUPPLIED JOINT SEALS SHALL BE USED FOR ADDITIONAL REQUIREMENTS SEE COUNTY'S AND THE CITY'S STANDARDS AND SPECIFICATIONS.
  - ALL DRAINAGE CATCH BASINS AND STRUCTURES SHALL BE PRECAST CONCRETE, AS MANUFACTURED BY U.S. PRECAST CORPORATION, UNLESS OTHERWISE NOTED ON THE PLANS. THE MINIMUM WALL AND GABR THICKNESS SHALL BE 8 INCHES AND THE MINIMUM REINFORCING SHALL BE AS INDICATED ON THE STRUCTURE DETAIL. CONCRETE SHALL BE MINIMUM OF 4000 PSI AT 28 DAYS.
- C. INSTALLATION:
  - PIPE SHALL BE PLACED ON A MINIMUM OF 8" STABLE GRANULAR MATERIAL, FREE OF ROCK FORMATION AND OTHER FOREIGN FORMATIONS, AND CONSTRUCTED TO A UNIFORM GRADE AND LINE.
  - BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL, WELL TAMPED IN LAYERS NOT TO EXCEED 6 INCHES TO A HEIGHT OF 12 INCHES ABOVE PIPE AS SHOWN ON THE PLANS.
  - PROVIDE A MINIMUM PROTECTIVE COVER OF 18 INCHES OVER STORM SEWER AND AVOID UNNECESSARY CROSSINGS BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.
  - THE CONTRACTOR SHALL NOTIFY THE CITY'S ENGINEERING DEPARTMENT AT LEAST 7 DAYS PRIOR TO THE START OF THE CONSTRUCTION AND INSPECTION.

**X. PAVING**

- A. GENERAL:
  - COUNTY AND THE CITY'S CONSTRUCTION STANDARDS & SPECIFICATIONS SHALL GOVERN.
  - ALL MUCK AND YIELDING MATERIAL, WITHIN THE LIMIT OF CONSTRUCTION SHALL BE REMOVED AND REPLACED WITH CLEAN FILL MATERIAL, WHICH SHALL BE COMPACTED AND SHARED TO CONFORM TO THE REQUIRED SECTION, COMPACTED AREAS, AS SHOWN ON THE PLANS AND OR AS DETERMINED BY THE ENGINEER, SHALL BE COMPACTED TO NOT LESS THAN 98% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE, UNLESS OTHERWISE NOTED ON THE PLANS. AREAS NOT IDENTIFIED AS SUCH SHALL BE AS DETERMINED BY THE ENGINEER, SHALL HAVE A MINIMUM LBR OF 40.
  - ALL UNDERDRAINAGE SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIIMEROCK BASE.
  - ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION, SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
  - WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE MAINTAINED.
- B. MATERIALS:
  - BASE COURSE SHALL BE CRUSHED LIIMEROCK WITH A MINIMUM OF 70% CARBONATES OF CALCIUM AND MAGNESIUM.
  - ASPHALT SURFACES SHALL BE TYPE SUPERPAVE ASPHALTIC CONCRETE, UNLESS OTHERWISE SPECIFIED ON THE PLANS, AND SHALL BE A MINIMUM OF 1 1/2" THICK.
  - MINIMUM SIDEWALK CONCRETE SHALL BE 6 INCH THICK CONCRETE, MINIMUM 3000psi COMPRESSIVE STRENGTH AT 28 DAYS. SAWCUT CONSTRUCTION JOINTS 3' FOOT ON, WITHIN 48 HOURS OF PLACING, EXPANSION JOINTS SHALL BE 20' FOOT ON, 6" WITHIN 48 HOURS OF PLACING.
  - REINFORCED CONCRETE SLABS SHALL BE CONSTRUCTED OF CLASS I CONCRETE WITH A MINIMUM STRENGTH OF 3,000 PSI AND SHALL BE REINFORCED WITH 4" x 6" NO. 6 GAUGE WIRE MESH.
- C. INSTALLATION:
  - SUBGRADE FOR PAVEMENT AREAS SHALL BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DENSITY (AASHTO T-99), AND SHALL HAVE A MINIMUM LBR OF 40.
  - BASE COURSE MATERIAL FOR CURBS AND GUTTERS SHALL BE A MINIMUM THICKNESS OF 6 INCH.
  - BASE COURSE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY PER AS PER AASHTO T-99 AND SHALL HAVE A MINIMUM LBR OF 40.
  - INSTALLATION OF THE WEARING SURFACE SHALL CONFORM WITH THE REQUIREMENTS OF THE D.O.T. STANDARD SPECIFICATIONS FOR TYPE II ASPHALTIC CONCRETE.

**D. TESTING**

- 1. THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 1/4" FROM THE TEMPLATE, ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.
- 2. DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE ENGINEER.
- 3. TESTING COSTS (PAVING) SHALL BE PAID FOR BY THE CONTRACTOR.
- 4. DENSITY TESTS ON THE STABILIZED SUBGRADE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD AND APPROVED BEFORE ANY LIIMEROCK BASE IS CONSTRUCTED.
- 5. DENSITY TESTS AND AS-BUILTS ON THE FINISHED LIIMEROCK BASE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD, AND APPROVED BEFORE ANY ASPHALT PAVEMENT IS CONSTRUCTED.

**XI. DEWATERING**

- 1. WHERE DEWATERING IS REQUIRED, THE CONTRACTOR IS RESPONSIBLE FOR DEWATERING IN SUCH A MANNER SO AS TO COMPLY WITH ANY AND ALL CITY, COUNTY, STATE AND FEDERAL DEWATERING REGULATIONS. CONTRACTOR MAY CONTACT THE COUNTY DEPARTMENT OF PLANNING AND ENVIRONMENTAL PROTECTION AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR FURTHER INFORMATION.

**XII. PAVEMENT MARKING AND SIGNAGE**

- 1. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS', LATEST EDITION, AND COUNTY TRAFFIC ENGINEERING STANDARDS (CURRENT EDITION) STANDARDS & SPECIFICATIONS FOR PAVEMENT MARKING REQUIREMENTS.
- 2. BROWARD COUNTY TRAFFIC ENGINEERING DIVISIONS REVIEW DOES NOT INCLUDE A REVIEW AND ACCEPTANCE OF THE PROJECTS OR OPERATION. THESE ITEMS ARE TO BE REVIEWED AND APPROVED BY THE CITY ENGINEER.
- 3. THE CONTRACTOR SHALL NOT ONLY ACCEPT THE FOLLOWING ITEMS, BUT ALSO ACCEPT THE FOLLOWING ITEMS FOR MAINTENANCE PAVEMENT MARKINGS ON OR ADJACENT TO PAVEMENT MARKINGS, PAINTED ASPHALT, STAMPED ASPHALT OR PAVEMENT MARKINGS MADE OF PAVEMENT BRICKS, RAISED INTERSECTIONS AND RELATED MARKINGS AND SIGNING, UNWARRANTED MEDIAN BLOCK CROSSWALKS AND RELATED MARKING AND SIGNING, UNWARRANTED CROSSWALKS AND RELATED MARKINGS AND SIGNING, PAINTED/COLORED CROSSWALKS, RAISED CROSSWALKS AND RELATED MARKING AND SIGNING, BLUNNER SIGNS, RECTANGULAR RAMP FLASHER BEACONS AND RELATED MARKINGS AND SIGNING, ON-STREET PARKING AND SIGNING, IN-Road LIGHTING AND RELATED MARKINGS AND SIGNING, GREEN BIKER LANES, FLEXIBLE DELINEATORS, DECOACTIVE SIGNS AND RELATED MARKINGS AND SIGNING, ON-STREET PARKING AND SIGNING, ON-STREET PARKING AND SIGNING, ON-SITE PAVEMENT MARKINGS AND SIGNING, OFF-RAMP MARKINGS AND SIGNING IN RIGHT-OF-WAY THAT IS NOT DEDICATED FOR PUBLIC USE, SIDEWALK WORK OR ASPHALT WORK.
- 4. THE CITY ENGINEER IS RESPONSIBLE FOR REVIEW AND APPROVAL OF THE DESIGN AND OPERATION OF THE PROJECT, AND FOR THE INSPECTION AND ACCEPTANCE OF THE FOLLOWING ITEMS THAT WILL BE MAINTAINED BY THE CITY: PAVEMENT MARKINGS ON OR ADJACENT TO PAVEMENT BRICKS, PAINTED ASPHALT, STAMPED ASPHALT OR PAVEMENT MARKINGS MADE OF PAVEMENT BRICKS, RAISED INTERSECTIONS AND RELATED MARKINGS AND SIGNING, UNWARRANTED MEDIAN BLOCK CROSSWALKS AND RELATED MARKING AND SIGNING, UNWARRANTED CROSSWALKS AND RELATED MARKING AND SIGNING, PAINTED/COLORED CROSSWALKS, RAISED CROSSWALKS AND RELATED MARKING AND SIGNING, BLUNNER SIGNS, RECTANGULAR RAMP FLASHER BEACONS AND RELATED MARKINGS AND SIGNING, ON-STREET PARKING AND SIGNING, IN-Road LIGHTING AND RELATED MARKINGS AND SIGNING, GREEN BIKER LANES, FLEXIBLE DELINEATORS, DECOACTIVE SIGNS, ON-SITE PAVEMENT MARKINGS AND SIGNING, OFF-RAMP MARKINGS AND SIGNING IN RIGHT-OF-WAY THAT IS NOT DEDICATED FOR PUBLIC USE, SIDEWALK WORK OR ASPHALT WORK.

**XIII. PROJECT CLOSEOUT**

- A. CLEANING UP:
  - DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEAN-UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED, PAVEMENT, PAVEMENT, AND CURB SHALL BE KEPT CLEAN AND FREE OF DEBRIS.
  - THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS WORK. MATERIALS, OR DEBRIS, SHALL BE REMOVED OR PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS. SUCH MATERIALS OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.
  - ALL PROPERTY MONUMENTS OR PERMANENT RESTRUCTIONS, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A SURVEYOR OF FLORIDA REGISTERED AND SUPERVISOR AT THE CONTRACTOR'S EXPENSE.
  - ALL UNPAVED SURFACES DISTURBED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.

**XIV. ENGINEER'S AS-BUILT REQUIREMENTS**

- DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON EACH SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH, MATERIAL, AND ELEVATION OF ANY FACILITY NOT EXPLICITLY ACCORDING TO PLANS.
- AS-BUILT OF WATER LINES SHALL INCLUDE THE FOLLOWING:
  - TOP OF PIPE ELEVATIONS EVERY 100 LINEAR FEET.
  - LOCATIONS AND ELEVATIONS OF ALL FITTINGS INCLUDING BENDS, TEES, GATE VALVES, DOUBLE DETECTOR CHECK VALVES, FIRE HYDRANTS, ETC.
  - ALL TIE INS TO EXISTING LINES SHALL BE AS-BUILT.
  - THE TERMINATION OF ALL WATER SERVICES SHALL BE SHOWN.
- AS-BUILT OF ALL THE QUALITY SANITARY SEWER LINES SHALL INCLUDE THE FOLLOWING INFORMATION:
  - RIMS, INVERTS, AND LENGTH OF PIPING BETWEEN STRUCTURES, AS WELL AS PIPE SLOPES.
  - LOCATION OF ALL STUB ENDS OF ALL SEWER LATERALS INVERT ELEVATIONS AND LOCATION OF ALL CLEAN OUTS.
  - LIFT STATION AS-BUILTS SHALL CONSIST OF THE TOP OF WET WELL, ELEVATION, INVERT ELEVATIONS OF THE INCOMING LINE, BOTTOM OF THE WET WELL AND AS-BUILTS OF THE COMPOUND AREA.
- FORCE MAIN AS-BUILTS SHALL BE PREPARED THE SAME AS THE WATER MAIN AS-BUILTS DESCRIBED ABOVE.
- AS-BUILT OF ALL DRAINAGE LINES SHALL INCLUDE THE FOLLOWING INFORMATION:
  - RIMS, INVERTS, AND LENGTH OF PIPING BETWEEN STRUCTURES, AND WERE ELEVATIONS WHERE APPLICABLE.
  - THE SIZE OF THE PIPING SHALL BE VERIFIED BY THE SURVEY FIELD CORD AT THE TIME OF AS-BUILT.
  - DRAINAGE HELL STRUCTURE AS-BUILTS SHALL INCLUDE, BUT NOT BE LIMITED TO, TOP OF GASING ELEVATION, TOP AND BOTTOM ELEVATIONS OF THE BAFFLE WALLS, RIM ELEVATIONS, AND INVERTS OF PIPING.
- ALL ROCK AS-BUILTS FOR PARKING LOT AREAS SHALL CONSIST OF THE FOLLOWING INFORMATION:
  - ROCK ELEVATIONS AT ALL HIGH AND LOW POINTS, AND AT ENOUGH INTERMEDIATE POINTS TO CONFIRM SLOPE CONSISTENCY.
  - ROCK AS-BUILTS SHALL BE TAKEN AT ALL LOCATIONS WHERE THERE IS A FINISHED GRADE ELEVATION SHOWN ON THE DESIGN PLANS.
  - ALL CATCH BASIN AND MANHOLE RIM ELEVATIONS SHALL BE SHOWN.
  - ELEVATIONS AROUND ISLANDS SHALL ALSO BE SHOWN.
  - WHERE CONCRETE OR PAVEMENT IS TO BE USED AS A FINISHED PRODUCT FOR THE ROADWAY OR PARKING LOT, ROCK AS-BUILTS WILL BE REQUIRED AS INDICATED ABOVE, AS WELL AS BUILTS ON THE FINISHED CONCRETE OR PAVEMENT AT LOCATIONS WHERE THERE IS A FINISHED GRADE ELEVATION SHOWN ON THE DESIGN PLANS.
  - AS-BUILTS SHALL BE TAKEN ON ALL PAVED AND UNPAVED AREAS, PRIOR TO PLACEMENT OF ASPHALT OR TOPSOIL OR SO, AT ENOUGH INTERMEDIATE POINTS TO CONFIRM SLOPE CONSISTENCY AND CONFORMANCE TO THE PLANS.
  - LAKE AND CANAL BANK AS-BUILTS SHALL INCLUDE A KEY SHEET OF THE LAKE FOR THE LOCATIONS OF CROSS SECTIONS. LAKE AND CANAL BANK CROSS SECTIONS SHALL BE PROVIDED AT A MINIMUM OF 100' HORIZONTAL FEET UNLESS OTHERWISE SPECIFIED, AS-BUILTS SHALL CONSIST OF THE LOCATION AND ELEVATION OF THE TOP OF BANK EDGE OF WATER AND THE DEEP CUT LINE, WITH THE DISTANCE BETWEEN EACH SHOWN ON THE DRAWING.
  - RETENTION AREA AS-BUILT ELEVATIONS SHALL BE TAKEN AT THE BOTTOM OF THE RETENTION AREA AND AT THE TOP OF BANK, AS-BUILT OF COUNTERS SHALL BE SHOWN, WHERE APPLICABLE.
  - UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PREPARE RECORD DRAWINGS, ON FULL SIZE REPRODUCIBLE MATERIAL, ONE SET OF REPRODUCIBLE RECORD DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD, ALONG WITH EIGHT (8) ORIGINAL DRAWINGS. THE ORIGINAL DRAWINGS SHALL BE BLUE OR BLACK LINE DRAWINGS, MADE BY A FLORIDA REGISTERED LAND SURVEYOR. ADDITIONALLY, AN ELECTRONIC COPY OF THESE RECORD DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER IN AUTOCAD (.DWG) OR .DWF FORMAT.
  - IN ADDITION TO THE ABOVE THE CONTRACTOR SHALL ALSO CONFORM TO COUNTY AND/OR CITY AS-BUILT REQUIREMENTS.

**XIV. GENERAL NOTES**

- 1. ALL EXISTING VALVE BOXES AND MANHOLES THAT WILL BE IMPACTED BY THE WORK WILL BE REPLACED TO FINISHED GRADE.
- 2. ALL SERVICE LINES THAT WILL NOT BE UTILIZED IN THE DEVELOPMENT SHOULD BE DETACHED FROM THE RESPECTIVE MAINS IN ACCORDANCE WITH THE BROWARD COUNTY STANDARDS.

VERTICAL INFORMATION HEREON IS RELATIVE TO THE NORTH AMERICAN HORIZONTAL DATUM (NAVD83).



**SUBMITTALS:**

PHASE	DATE
Project Status	Issue Date
DRC SUBMITTAL	04/11/18
60% SUBMITTAL	05/29/18
CM BID SET	07/06/18
DRC RE-SUBMITTAL	08/10/18
DRC RE-SUBMITTAL	09/15/18

**REVISION SCHEDULE**

NO.	DESCRIPTION	DATE

**PROJECT TEAM**  
**PROFESSIONAL IN CHARGE**  
 CHAD E. EDWARDS, P.E.  
 REGISTRATION NUMBER: 59306  
**APPROVED BY**  
**DESIGNED BY** MK  
**DRAWN BY** MK  
**CHECKED BY** CE

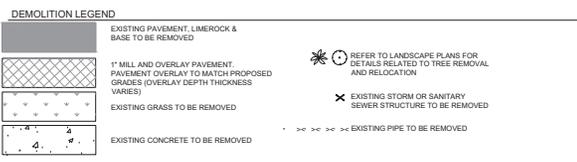
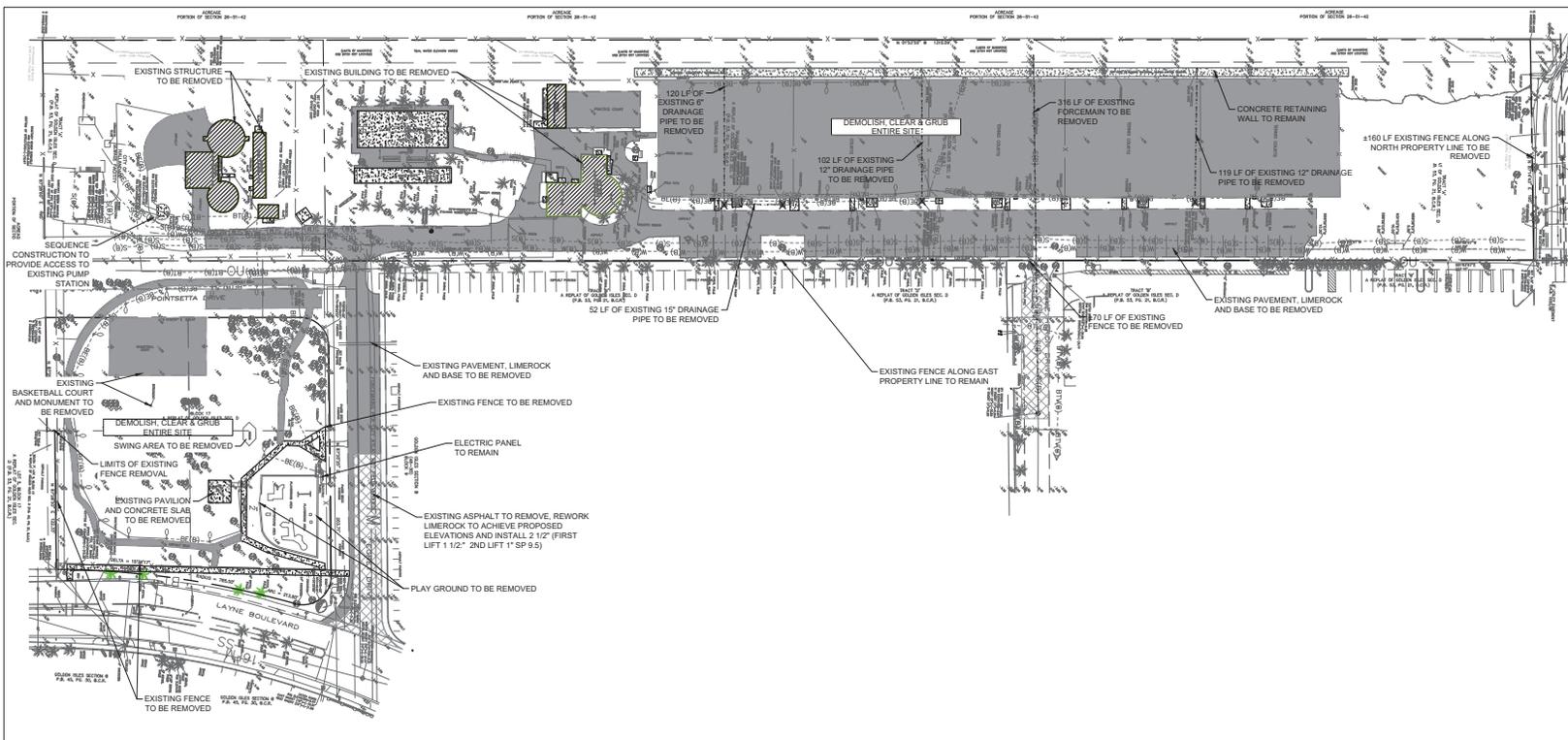


**DESIGN CONSULTANT**  
 GOLDEN ISLES TENNIS CENTER  
 Hallandale Beach, FL  
 CLIENT CODE/FILE NUMBER:  
 Client ID  
**PROJECT ID - SUBMISSION NUMBER:**  
 Project ID

**DEMOLITION PLAN**  
**SHEET TITLE**

**ACAI**  
 architectural-engineering  
 roofing - consulting  
 construction management  
 AAC001320 EB0004379 CGG010769  
 2137 W. Cypress Creek Rd., Suite 210  
 Fort Lauderdale, FL 33309  
 Tel: 954-684-6000 Fax: 954-684-0068  
 www.acaiworld.com  
**ARCHITECT OF RECORD**

**17-0004**  
**PROJECT NUMBER**  
**C-4**  
 TO THE BEST OF MY KNOWLEDGE  
 AND ABILITY THESE PLANS ARE  
 COMPLETE AND COMPLY WITH  
 THE APPLICABLE BUILDING CODES.  
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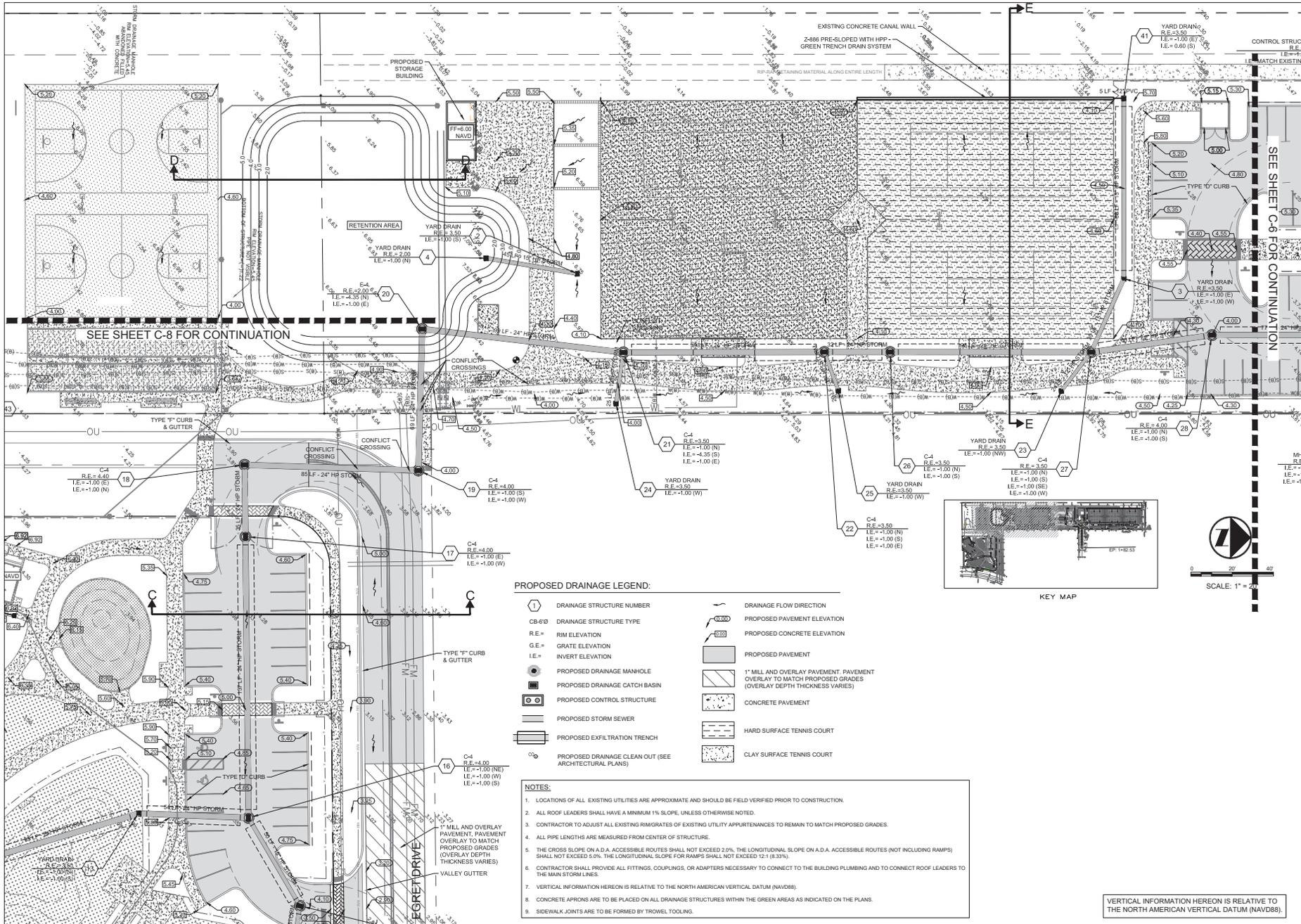
- NOTES:**
- REFER TO LANDSCAPE PLANS FOR TREES THAT ARE TO BE RELOCATED OR REMOVED, OR TO REMAIN.
  - ALL UTILITIES WITHIN THE SITE AREA TO REMAIN UNLESS OTHERWISE NOTED.
  - CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE NECESSARY MAINTENANCE OF TRAFFIC FOR ALL WORK ADJACENT TO THE R.W. WITHIN THE R.W. AND ALL SIDEWALK CLOSURES.
  - ALL REMOVED MATERIAL CANNOT BE REUSED OR RELOCATED.
  - EXISTING UTILITIES ARE TO BE PROTECTED DURING DEMOLITION.
  - PROTECT UTILITIES WHILE REMOVING, INSTALLING AND RELOCATING TREES.

VERTICAL INFORMATION HEREON IS RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (NAVD88).









**SUBMITTALS:**

PHASE	DATE
Project Status	Issue Date
DRC SUBMITTAL	04/11/18
60% SUBMITTAL	05/29/18
CM BID SET	07/06/18
DRC RE-SUBMITTAL	08/10/18
DRC RE-SUBMITTAL	09/19/18

**REVISION SCHEDULE**

NO.	DESCRIPTION	DATE

**PROJECT TEAM**  
 PROFESSIONAL IN CHARGE  
 CHAD E. EDWARDS, P.E.  
 REGISTRATION NUMBER: 69306  
 APPROVED BY  
 DESIGNED BY: MK  
 DRAWN BY: MK  
 CHECKED BY: CE



**DESIGN CONSULTANT**  
 GOLDEN ISLES TENNIS CENTER  
 Hallandale Beach, FL

CLIENT CODEFILE NUMBER: Client ID  
 PROJECT ID - SUBMISSION NUMBER: Project ID

**PAVING GRADING & DRAINAGE PLAN**  
 SHEET TITLE



AA001320 EB0004379 GGG010769  
 2137 W Cypress Creek Rd., Suite 210  
 Fort Lauderdale, FL 33309  
 Tel: 954-684-6000 Fax: 954-684-0988  
 www.acaiworld.com  
**ARCHITECT OF RECORD**  
**17-0004**  
 PROJECT NUMBER

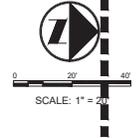
**C-7**  
 SHEET NUMBER  
 TO THE BEST OF MY KNOWLEDGE  
 AND ABILITY THESE PLANS ARE  
 COMPLETE AND CONFORM WITH  
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**PROPOSED DRAINAGE LEGEND:**

	DRAINAGE STRUCTURE NUMBER		DRAINAGE FLOW DIRECTION
	CB-60 DRAINAGE STRUCTURE TYPE		PROPOSED PAVEMENT ELEVATION
	R.E.= RIM ELEVATION		PROPOSED CONCRETE ELEVATION
	G.E.= GRATE ELEVATION		PROPOSED PAVEMENT
	I.E.= INVERT ELEVATION		1" MILL AND OVERLAY PAVEMENT: PAVEMENT OVERLAY TO MATCH PROPOSED GRADES (OVERLAY DEPTH THICKNESS VARIES)
	PROPOSED DRAINAGE MANHOLE		CONCRETE PAVEMENT
	PROPOSED DRAINAGE CATCH BASIN		HARD SURFACE TENNIS COURT
	PROPOSED CONTROL STRUCTURE		CLAY SURFACE TENNIS COURT
	PROPOSED STORM SEWER		
	PROPOSED INFILTRATION TRENCH		
	PROPOSED DRAINAGE CLEAN OUT (SEE ARCHITECTURAL PLANS)		

- NOTES:**
- LOCATIONS OF ALL EXISTING UTILITIES ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
  - ALL ROOF LEADERS SHALL HAVE A MINIMUM 1% SLOPE, UNLESS OTHERWISE NOTED.
  - CONTRACTOR TO ADJUST ALL EXISTING RIMGRADES OF EXISTING UTILITY APPURTENANCES TO REMAIN TO MATCH PROPOSED GRADES.
  - ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE.
  - THE CROSS SLOPE ON A D.A. ACCESSIBLE ROUTES SHALL NOT EXCEED 2.0% THE LONGITUDINAL SLOPE ON A D.A. ACCESSIBLE ROUTES (NOT INCLUDING RAMPS) SHALL NOT EXCEED 5.0%. THE LONGITUDINAL SLOPE FOR RAMPS SHALL NOT EXCEED 12.1 (8.33%).
  - CONTRACTOR SHALL PROVIDE ALL FITTINGS, COUPLINGS, OR ADAPTERS NECESSARY TO CONNECT TO THE BUILDING PLUMBING AND TO CONNECT ROOF LEADERS TO THE MAIN STORM LINES.
  - VERTICAL INFORMATION HEREON IS RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (NAVD8S).
  - CONCRETE APRONS ARE TO BE PLACED ON ALL DRAINAGE STRUCTURES WITHIN THE GREEN AREAS AS INDICATED ON THE PLANS.
  - SIDEWALK JOINTS ARE TO BE FORMED BY TROWEL TOOLING.

VERTICAL INFORMATION HEREON IS RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (NAVD8S).



SEE SHEET C-8 FOR CONTINUATION

SEE SHEET C-6 FOR CONTINUATION



**SUBMITTALS:**

PHASE	DATE
Project Status	Issue Date
DRC SUBMITTAL	04/11/18
60% SUBMITTAL	05/29/18
CM BID SET	07/06/18
DRC RE-SUBMITTAL	08/10/18
DRC RE-SUBMITTAL	09/15/19

**REVISION SCHEDULE**

NO.	DESCRIPTION	DATE

**PROJECT TEAM PROFESSIONAL IN CHARGE**

CHAD E. EDWARDS, P.E.  
 REGISTRATION NUMBER: 59306  
 APPROVED BY: \_\_\_\_\_  
 DESIGNED BY: MK  
 DRAWN BY: MK  
 CHECKED BY: CE



**DESIGN CONSULTANT**

GOLDEN ISLES TENNIS CENTER  
 Hallandale Beach, FL

CLIENT CODE/FILE NUMBER:  
 Client ID  
 PROJECT ID - SUBMISSION NUMBER:  
 Project ID

OVERALL WATER & SEWER PLAN

SHEET TITLE

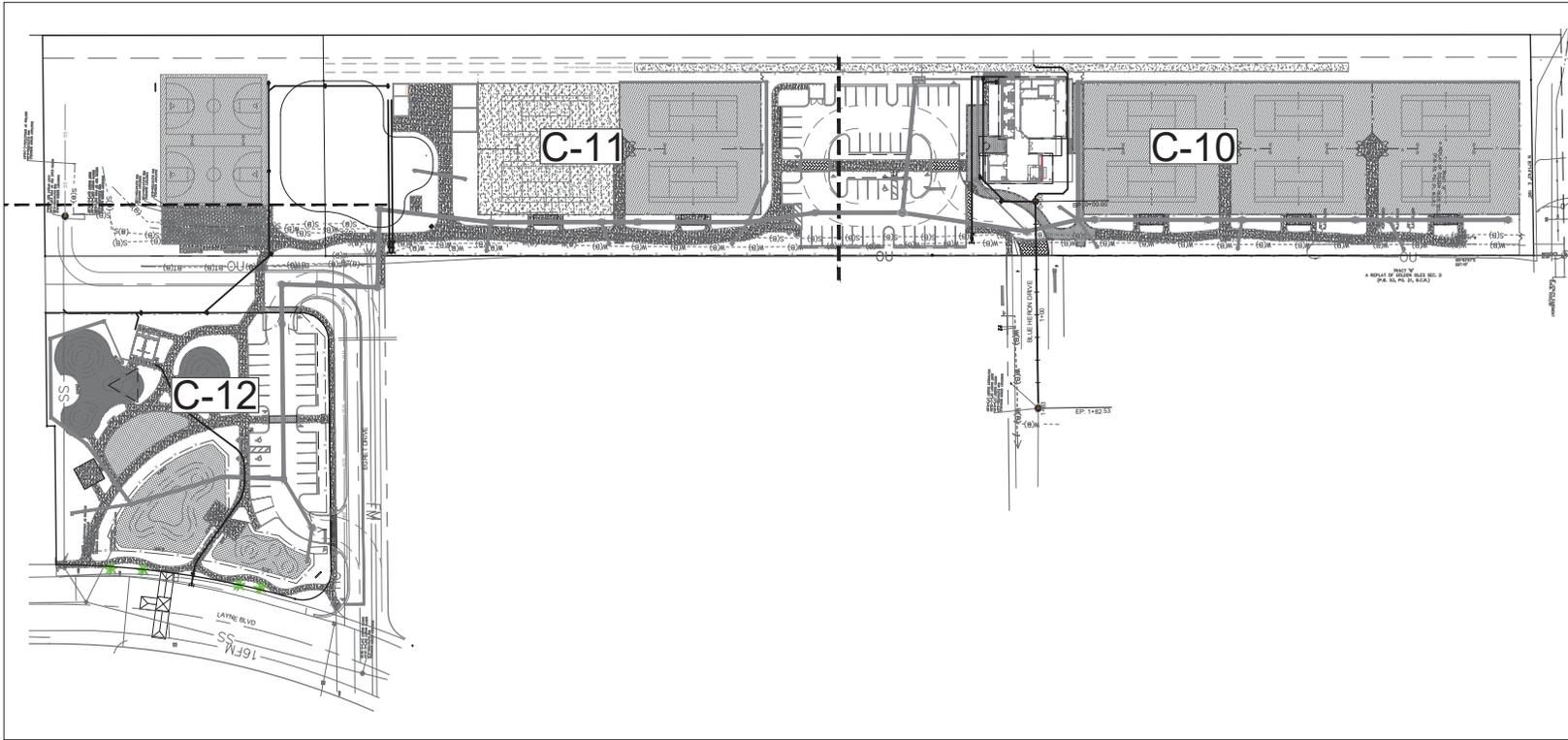


17-0004

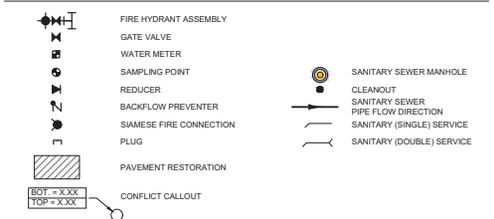
PROJECT NUMBER

**C-9**

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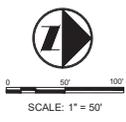


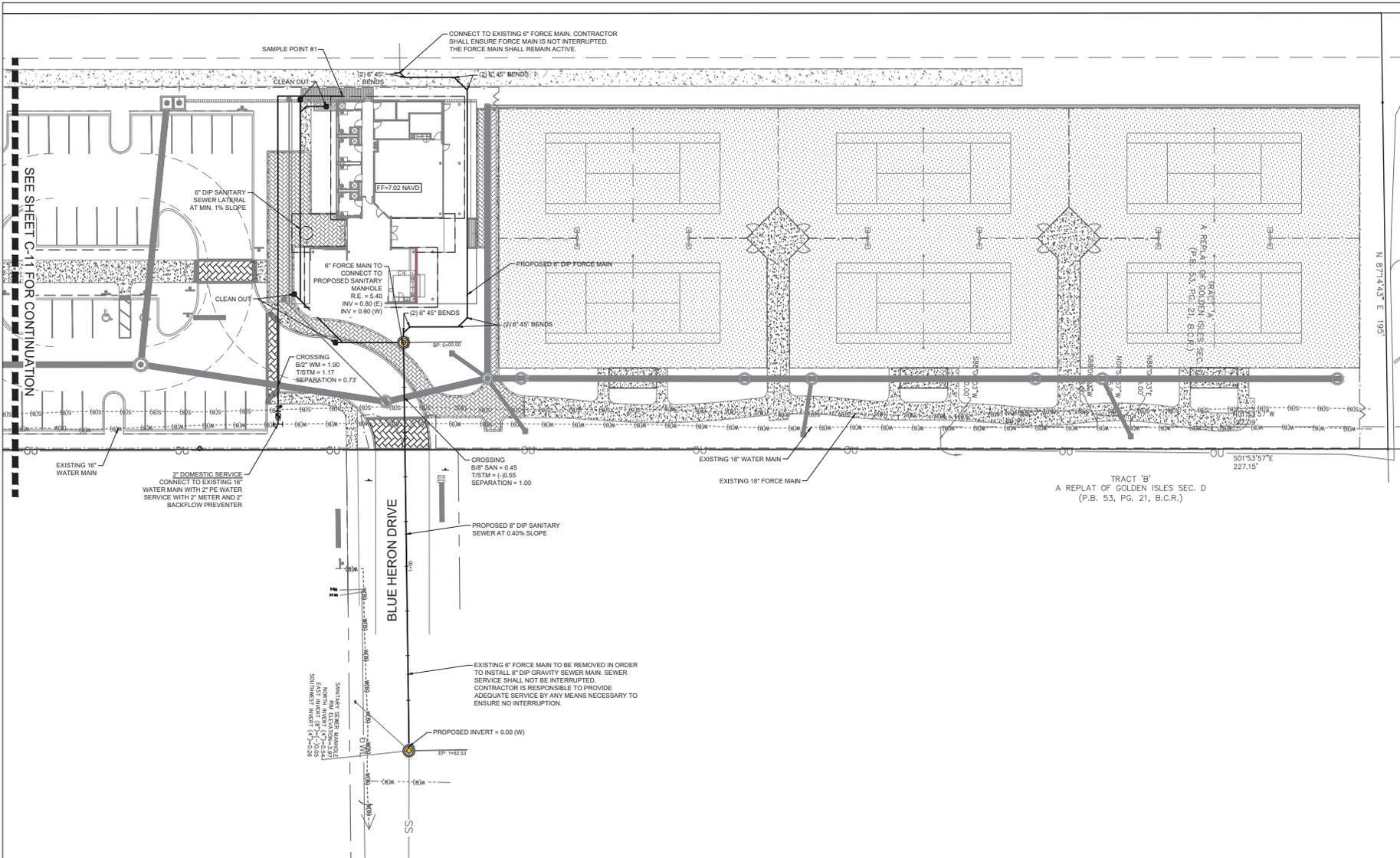
**PROPOSED WATER AND SEWER LEGEND:**



- NOTES:**
- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 62.555 OF THE FAC AS APPLICABLE.
  - RESTORE EXISTING VALVES AND MANHOLES AT PROPOSED CONNECTIONS TO CITY STANDARDS.
  - SANITARY SEWER MAINS AND LATERALS TO BE TELEVIEWED INSPECTED AFTER FINISH LIME ROCK IS APPROVED AND AGAIN BEFORE ONE YEAR MAINTENANCE EXPRES. COST OF TELEVIEWED INSPECTION TO BE INITIALLY PAID FOR BY THE CONTRACTOR AND THE OWNER AFTER 1 YEAR.
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  - PROTECT UTILITIES WHILE REMOVING, INSTALLING AND RELOCATING TREES.

VERTICAL INFORMATION HEREON IS RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (NAVD88).





**SUBMITTALS:**

PHASE	DATE
Project Status	Issue Date
DRC SUBMITTAL	04/11/18
60% SUBMITTAL	05/29/18
CM BID SET	07/06/18
DRC RE-SUBMITTAL	08/10/18
DRC RE-SUBMITTAL	09/15/19

**REVISION SCHEDULE**

NO.	DESCRIPTION	DATE

**PROJECT TEAM**  
 PROFESSIONAL IN CHARGE  
 CHAD E. EDWARDS, P.E.  
 REGISTRATION NUMBER: 59306  
 APPROVED BY  
 DESIGNED BY  
 DRAWN BY  
 CHECKED BY



**DESIGN CONSULTANT**  
 GOLDEN ISLES TENNIS CENTER  
 Hallandale Beach, FL  
 CLIENT CODE FILE NUMBER:  
 Client ID  
 PROJECT ID - SUBMISSION NUMBER:  
 Project ID

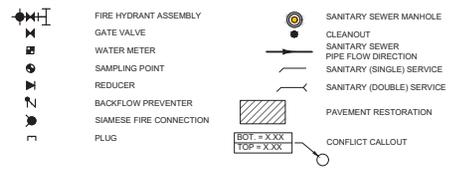
WATER & SEWER PLAN  
 SHEET TITLE



17-0004  
 PROJECT NUMBER  
 C-10  
 SHEET NUMBER

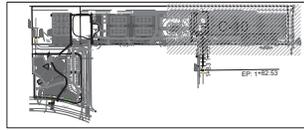
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**PROPOSED WATER AND SEWER LEGEND:**

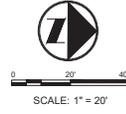


**NOTES:**

1. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 62.055 OF THE FAC AS APPLICABLE.
2. RESTORE EXISTING VALVES AND MANHOLES AT PROPOSED CONNECTIONS TO CITY STANDARDS.
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7. PROTECT UTILITIES WHILE REMOVING, INSTALLING AND RELOCATING TREES.

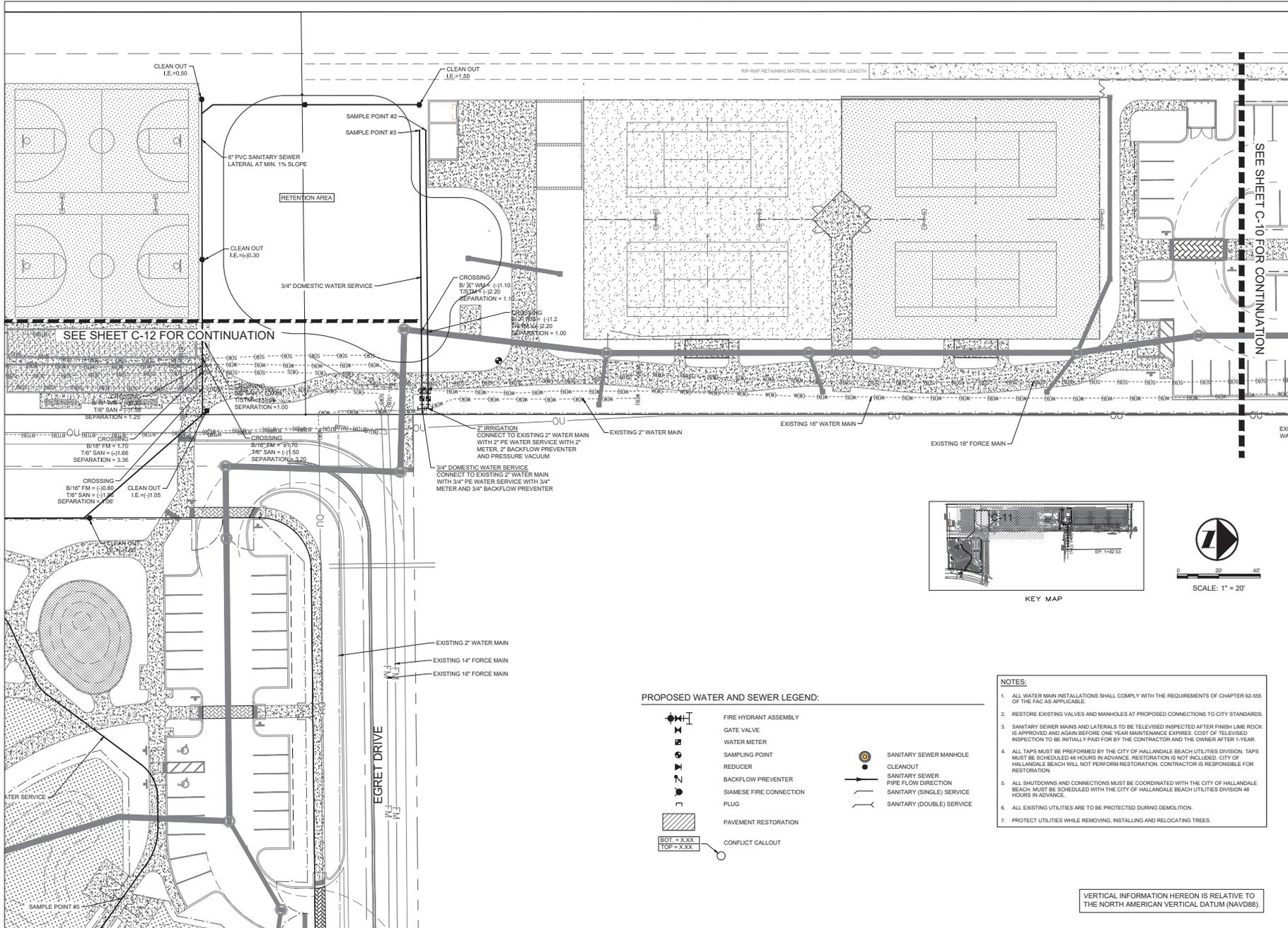


KEY MAP



SCALE: 1" = 20'

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**SUBMITTALS:**

PHASE	DATE
Project Status	Issue Date
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60% SUBMITTAL	05/29/18
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DRC RE-SUBMITTAL	09/15/19

**REVISION SCHEDULE**

NO.	DESCRIPTION	DATE

**PROJECT TEAM**  
**PROFESSIONAL IN CHARGE**  
 CHAD E. EDWARDS, P.E.  
 REGISTRATION NUMBER: 59306  
**APPROVED BY**  
**DESIGNED BY**  
 MK  
**DRAWN BY**  
 MK  
**CHECKED BY**  
 CE

**CRAVEN & THOMPSON AND ASSOCIATES, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS  
 100 W. 1st St., Suite 1000, Ft. Lauderdale, FL 33309  
 Tel: 954-484-4000 Fax: 954-484-5088  
 www.ctaiworld.com

**DESIGN CONSULTANT**  
 GOLDEN ISLES  
 TENNIS CENTER  
 Hallandale Beach, FL

**CLIENT CODEFILE NUMBER:**  
 Client ID  
**PROJECT ID - SUBMISSION NUMBER:**  
 Project ID

**WATER & SEWER PLAN**

**SHEET TITLE**

**ACAI**  
 a s s o c i a t e s i n c  
 architecture • engineering  
 roofing • consulting  
 construction management  
 AAC01323 EB0004379 GG0010769  
 2137 W. Cypress Creek Rd., Suite 210  
 Fort Lauderdale, FL 33309  
 Tel: 954-484-4000 Fax: 954-484-5088  
 www.acaiworld.com  
 ARCHITECT OF RECORD

**17-0004**

**PROJECT NUMBER**

**C-11**

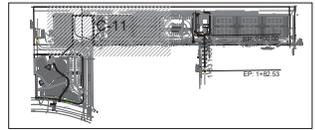
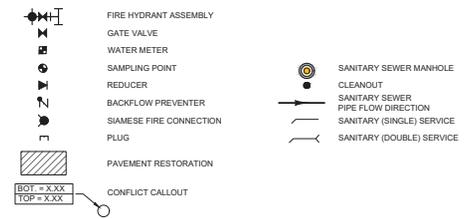
**SHEET NUMBER**  
 TO THE BEST OF MY KNOWLEDGE  
 AND ABILITY THESE PLANS ARE  
 COMPLETE AND COMPLY WITH  
 THE APPLICABLE BUILDING CODES

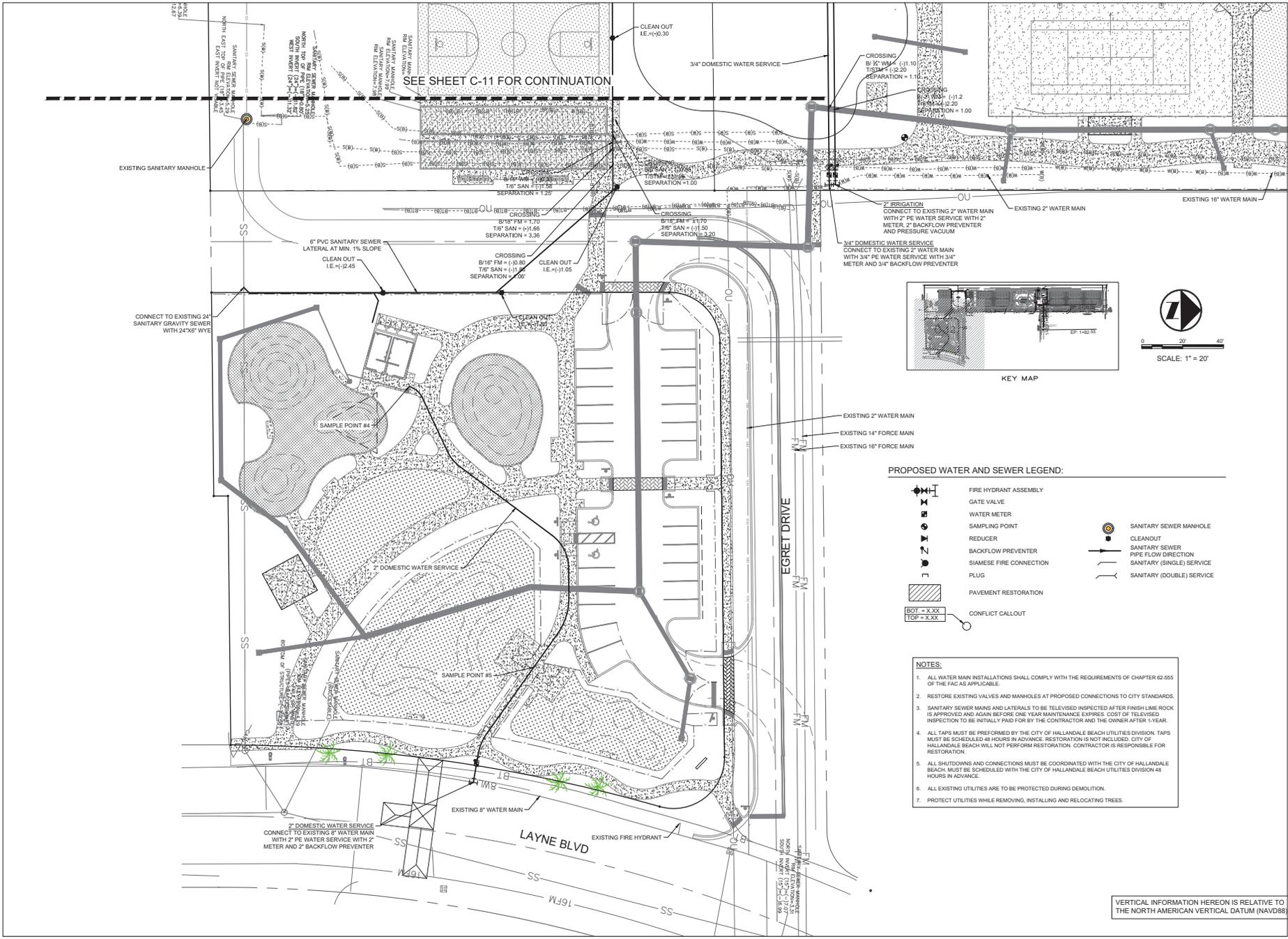
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- NOTES:**
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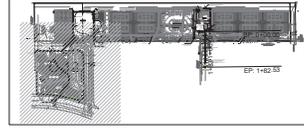
VERTICAL INFORMATION HEREON IS RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (NAVD88).

**PROPOSED WATER AND SEWER LEGEND:**





SEE SHEET C-11 FOR CONTINUATION



PROPOSED WATER AND SEWER LEGEND:

- FIRE HYDRANT ASSEMBLY
- GATE VALVE
- WATER METER
- SAMPLING POINT
- REDUCER
- BACKFLOW PREVENTER
- SIAMSE FIRE CONNECTION
- PLUG
- PAVEMENT RESTORATION
- CONFLICT CALLOUT
- SANITARY SEWER MANHOLE
- CLEANOUT
- SANITARY SEWER PIPE FLOW DIRECTION
- SANITARY (SINGLE) SERVICE
- SANITARY (DOUBLE) SERVICE

- NOTES:
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SUBMITTALS:

PHASE	DATE
Project Status	Issue Date
DRC SUBMITTAL	04/11/18
60% SUBMITTAL	05/29/18
CM BID SET	07/06/18
DRC RE-SUBMITTAL	08/10/18
DRC RE-SUBMITTAL	09/19/18

REVISION SCHEDULE

NO.	DESCRIPTION	DATE

PROJECT TEAM  
PROFESSIONAL IN CHARGE  
CHAD E. EDWARDS, P.E.  
REGISTRATION NUMBER 59306  
APPROVED BY  
DESIGNED BY MK  
DRAWN BY MK  
CHECKED BY CE



CRAVEN + THOMPSON AND ASSOCIATES, INC.  
ENGINEERS + PLANNERS + SURVEYORS  
100 N.W. 10TH STREET, FORT LAUDERDALE, FLORIDA 33309  
TEL: 954-484-6200 FAX: 954-484-0988  
WWW.CTASOCIATES.COM

DESIGN CONSULTANT

GOLDEN ISLES TENNIS CENTER  
Hallandale Beach, FL

CLIENT CODE FILE NUMBER:  
Client ID  
PROJECT ID - SUBMISSION NUMBER:  
Project ID

WATER & SEWER

SHEET TITLE

ACAI  
association of  
architecture, engineering,  
roofing - consulting  
construction management  
AAC01323 EB0004379 CGG010769  
2137 W. Cypress Creek Rd., Suite 210  
Fort Lauderdale, FL 33309  
Tel: 954-484-6200 Fax: 954-484-0988  
www.acaiworld.com  
ARCHITECT OF RECORD

17-0004

PROJECT NUMBER

C-12

SHEET NUMBER  
TO THE BEST OF MY KNOWLEDGE  
AND ABILITY THESE PLANS ARE  
COMPLETE AND COMPLY WITH  
THE APPLICABLE BUILDING CODES  
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**SUBMITTALS:**

PHASE	DATE
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DRC SUBMITTAL	04/11/18
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DRC RE-SUBMITTAL	08/01/18
DRC RE-SUBMITTAL	09/15/19

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

**PROJECT TEAM PROFESSIONAL IN CHARGE**  
 CHAD E. EDWARDS, P.E.  
 REGISTRATION NUMBER: 59306  
 APPROVED BY: \_\_\_\_\_  
 DESIGNED BY: MK  
 DRAWN BY: MK  
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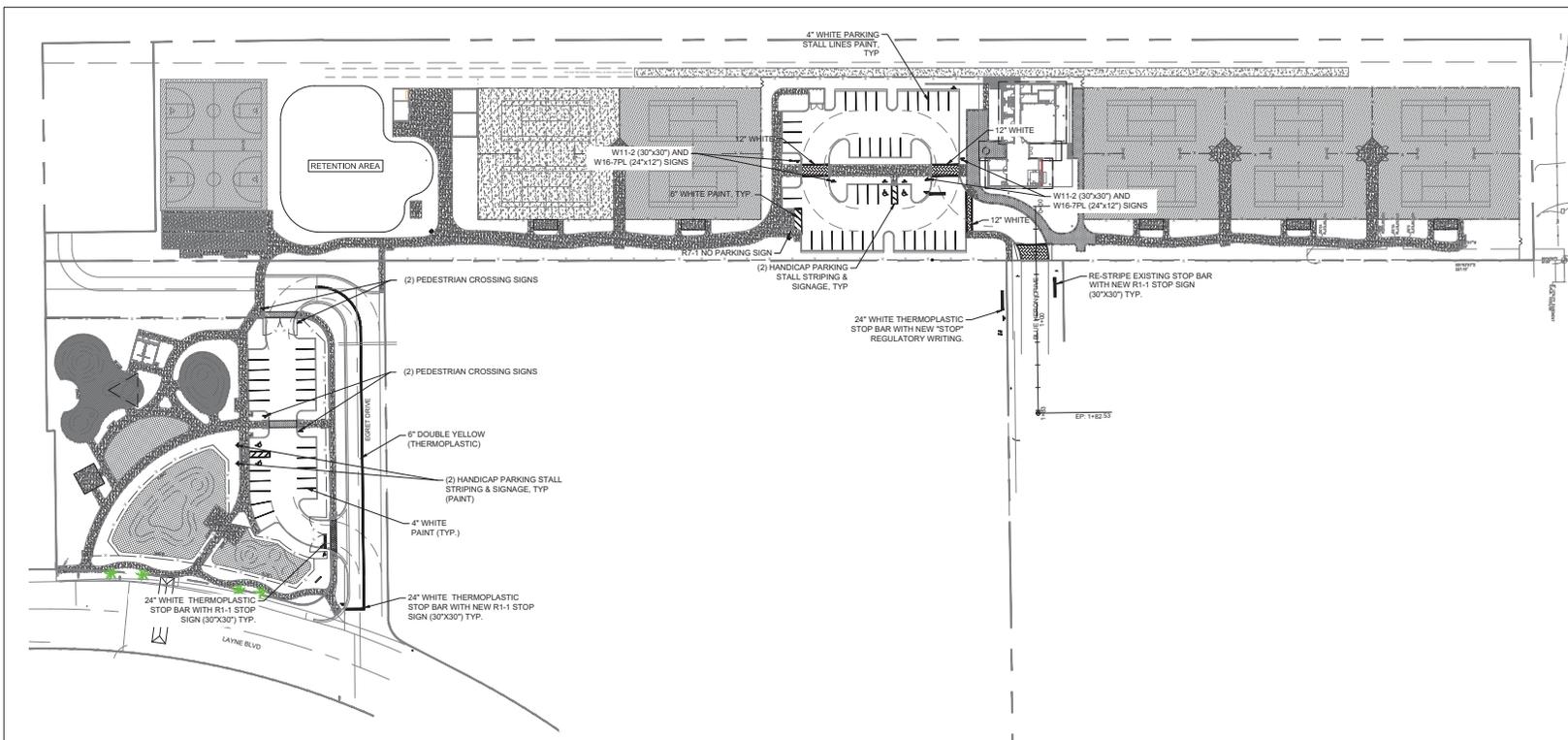
**DESIGN CONSULTANT**  
 GOLDEN ISLES TENNIS CENTER  
 Hallandale Beach, FL

CLIENT CODE/FILE NUMBER:  
 Client ID  
 PROJECT ID - SUBMISSION NUMBER:  
 Project ID

PAVEMENT MARKING & SIGNAGE PLAN  
 SHEET TITLE

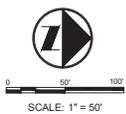


17-0004  
 PROJECT NUMBER  
 C-13  
 SHEET NUMBER  
 TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE PLANS ARE COMPLETE AND COMPLY WITH THE APPLICABLE BUILDING CODES  
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**NOTES:**

- CONTRACTOR TO MAINTAIN ALL SIGNS DURING CONSTRUCTION, UNLESS OTHERWISE NOTED.
- ALL EXISTING PAVEMENT MARKINGS AND SIGNING DISTURBED DUE TO PROPOSED CONSTRUCTION ACTIVITIES SHALL BE REPLACED.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS", LATEST EDITION, AND BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS, (LATEST EDITION).
- ALL PAVEMENT MARKINGS SHALL BE ALKYD BASED THERMOPLASTIC AND FULLY REFLECTORIZED UNLESS NOTED OTHERWISE.
- ALL PAVEMENT MARKING REFLECTIVITY SHALL BE 250 MILLICANDELLAS FOR WHITE AND 175 MILLICANDELLAS FOR YELLOW.
- ALL REGULATORY AND WARNING SIGNS SHALL USE TYPE XI SHEETING.
- RAISED PAVEMENT MARKERS (RPMs) SHALL BE CLASS "B" OR EQUAL, APPLIED WITH EPOXY OR BITUMINOUS ADHESIVE.
- EXISTING MARKINGS SHALL BE REMOVED BY WATER BLASTING OR SANDBLASTING ONLY.
- ALL STOP BARS SHALL BE 4' BEHIND CROSSWALK OR SIDEWALK.
- ALL ON-SITE PARKING STALL SHALL BE PAINTED PER CITY OF HALLANDALE BEACH STANDARDS WITH A DOUBLE 4" WIDE WHITE PAINT LINE.



PHASE	DATE
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DRG SUBMITTAL	04/11/18
60% SUBMITTAL	05/29/18
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DRG RE-SUBMITTAL	08/10/18
DRG RE-SUBMITTAL	03/15/19

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

PROJECT TEAM  
PROFESSIONAL IN CHARGE

CHAD E. EDWARDS, P.E.  
REGISTRATION NUMBER 50306

APPROVED BY

DESIGNED BY  
MK

DRAWN BY  
MK

CHECKED BY  
CE

GRAVEN + THOMPSON AND ASSOCIATES, INC.  
ENGINEERS • PLANNERS • SURVEYORS  
1901 NW 20th Street, Fort Lauderdale, Florida 33309  
Tel: (954) 584-4000 Fax: (954) 584-5088  
www.graven.com

DESIGN CONSULTANT

GOLDEN ISLES  
TENNIS CENTER

Hallandale Beach, FL

CLIENT CODE/FILE NUMBER:  
Client ID

PROJECT ID - SUBMISSION NUMBER:  
Project ID

PAVING &  
DRAINAGE DETAILS

SHEET TITLE

**ACAI**  
ARCHITECTURAL CONSULTING AND  
ARCHITECTURE ENGINEERING  
CONSTRUCTION MANAGEMENT

AAC01323 EB0004379 CG010769  
2917 W. Cypress Creek Rd., Suite 200  
Fort Lauderdale, FL 33309  
Tel: (954) 584-4000 Fax: (954) 584-5088  
www.acaiworld.com

ARCHITECT OF RECORD

17-0004

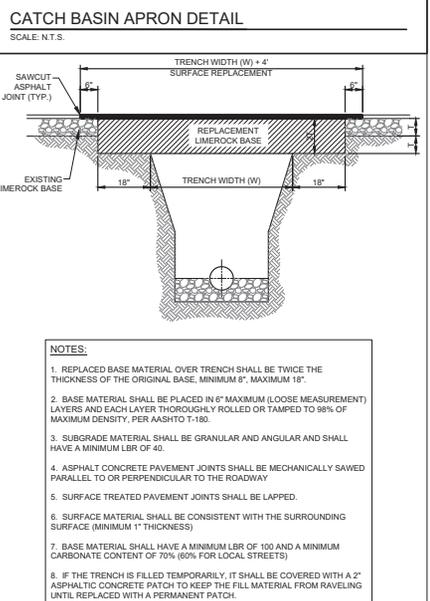
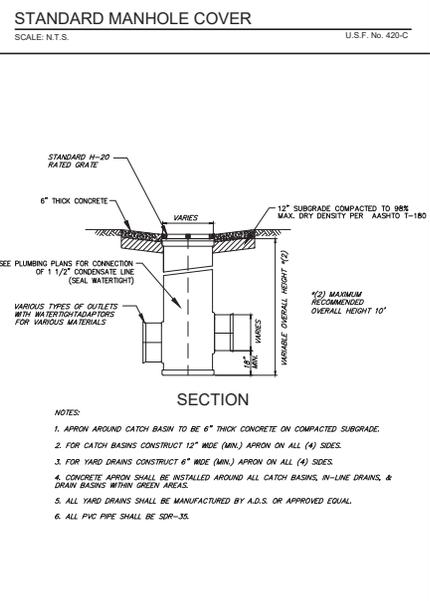
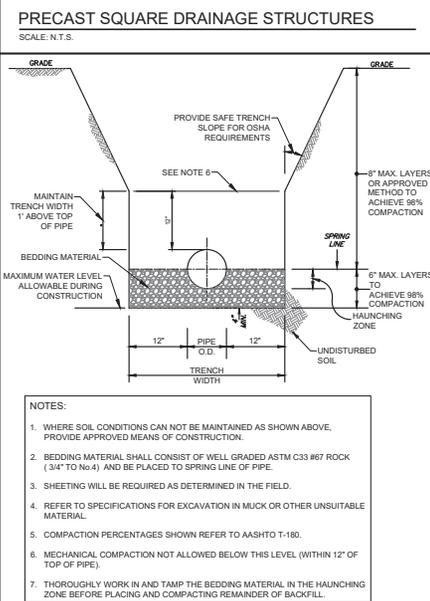
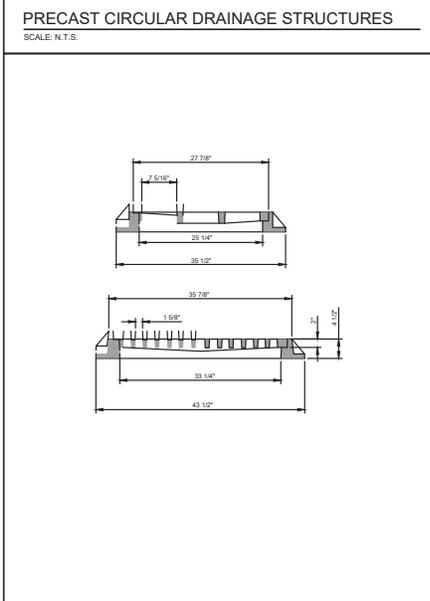
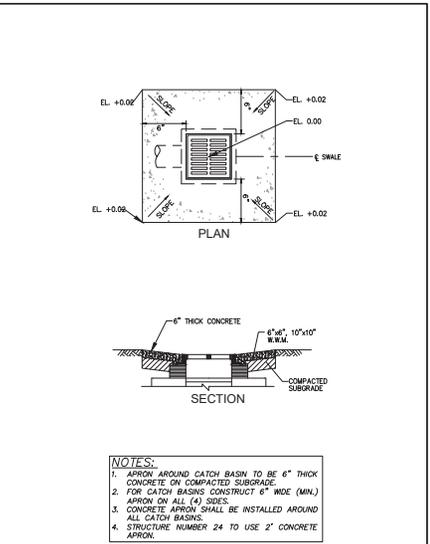
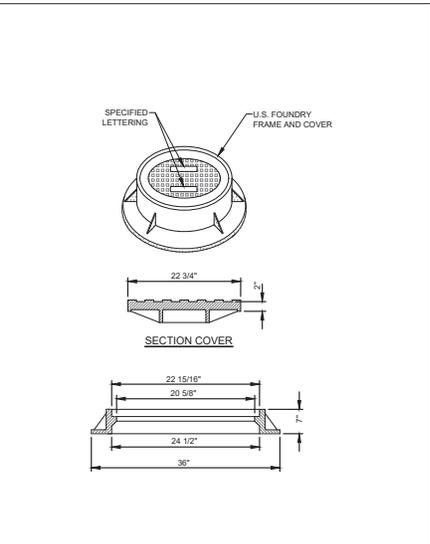
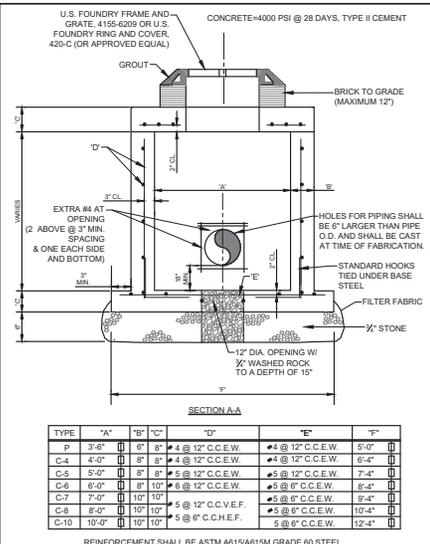
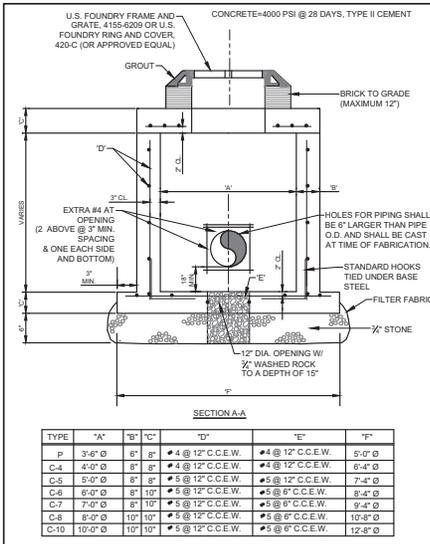
PROJECT NUMBER

C-14

SHEET NUMBER

TO THE BEST OF MY KNOWLEDGE  
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PHASE	DATE
Project Status	Issue Date
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DRG RE-SUBMITTAL	03/15/19

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

PROJECT TEAM  
PROFESSIONAL IN CHARGE

CHAD E. EDWARDS, P.E.  
REGISTRATION NO. 50306

APPROVED BY

DESIGNED BY  
MK

DRAWN BY  
MK

CHECKED BY  
CE

GRAVEN • THOMPSON AND ASSOCIATES, INC.  
ENGINEERS • PLANNERS • SURVEYORS  
1901 W. 30th STREET, FORT LAUDERDALE, FLORIDA 33309  
TEL: (954) 484-4000 FAX: (954) 484-5088  
WWW.GTACAI.COM

DESIGN CONSULTANT

GOLDEN ISLES  
TENNIS CENTER

Hallandale Beach, FL

CLIENT CODEFILE NUMBER:  
Client ID

PROJECT ID - SUBMISSION NUMBER:  
Project ID

PAVING &  
DRAINAGE DETAILS

SHEET TITLE

ACAI  
ARCHITECTURAL  
ARCHITECTURE • ENGINEERING  
ROOFING • CONSULTING  
CONSTRUCTION MANAGEMENT

AAC001323 EB0004379 CG0010769  
2917 W. Cypress Creek Rd., Suite 2010  
Fort Lauderdale, FL 33309  
Tel: (954) 484-4000 Fax: (954) 484-5088  
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ARCHITECT OF RECORD

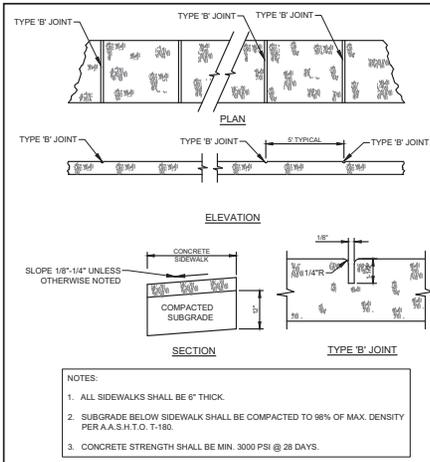
17-0004

PROJECT NUMBER

C-15

SHEET NUMBER  
TO THE BEST OF MY KNOWLEDGE  
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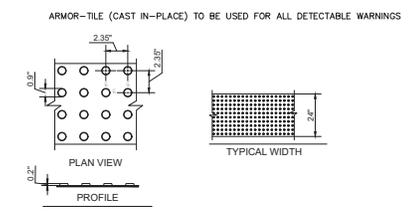


- NOTES:
1. ALL SIDEWALKS SHALL BE 6" THICK.
  2. SUBGRADE BELOW SIDEWALK SHALL BE COMPACTED TO 98% OF MAX. DENSITY PER A.A.S.H.T.O. T-180.
  3. CONCRETE STRENGTH SHALL BE MIN. 3000 PSI @ 28 DAYS.

TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
"B"	5 FEET CENTER TO CENTER ON SIDEWALKS.

**SIDEWALK DETAILS**

SCALE: NONE

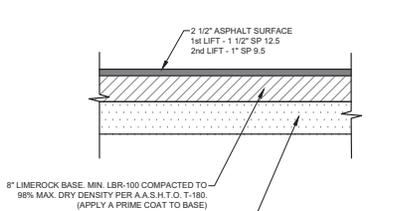


**DETECTABLE WARNING - TRUNCATED DOME**

**DETECTABLE WARNING - TRUNCATED DOME**

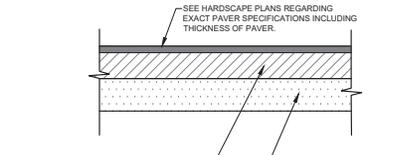
SCALE: NONE (N. RIGHT OF WAY)

NOTE:  
ALL DETECTABLE WARNING SURFACES ON PRIVATE PROPERTY REQUIRED BY THE CODE SHALL BE GOVERNED BY THE REQUIREMENTS OF ANS A171.1-1986. DETECTABLE WARNING TEXTURES ON WALKING SURFACES SHALL CONSIST OF EXPOSED AGGREGATE CONCRETE, CUSHIONED SURFACES MADE OF RUBBER OR PLASTIC, OR RAISED STRIPS. TEXTURES SHALL CONTRAST WITH THAT OF SURROUNDING SURFACE.



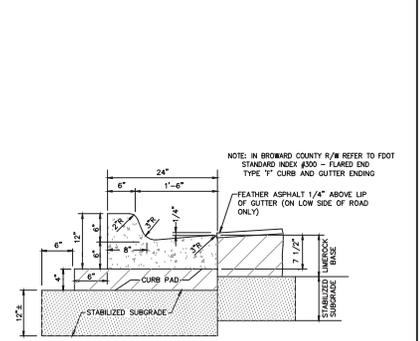
**TYPICAL PAVEMENT SECTION**

SCALE: N.T.S.



**TYPICAL PAVER SECTION**

SCALE: N.T.S.

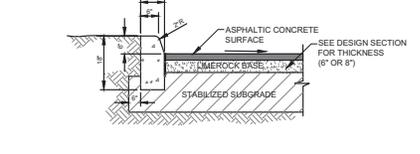


NOTE:  
WHEN USED ON HIGH SIDE OF ROADWAYS THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6" INSTEAD OF 7 1/2".

- NOTE:
1. LIMEROCK BASE THICKNESS FOR THE CURB PAD SHALL BE 4" MIN. LBR-100 COMPACTED TO 98% MAX. DRY DENSITY PER A.A.S.H.T.O. T-180.
  2. STABILIZED SUBGRADE SHALL BE 12" MIN. LBR-40 COMPACTED TO 98% MAX. DRY DENSITY PER A.A.S.H.T.O. T-180

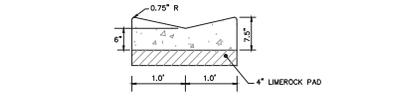
**TYPE "F" CURB & GUTTER**

SCALE: NONE REFER TO FOOT INDEX 300 FOR NOTES AND DETAILS



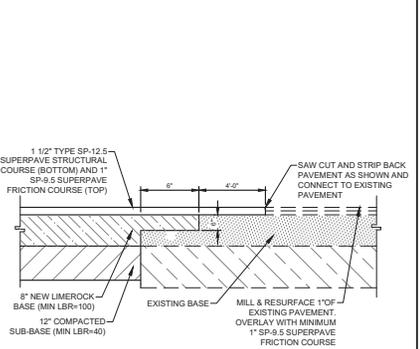
**TYPE "D" CONCRETE CURB**

SCALE: NONE REFER TO FOOT INDEX 300 FOR NOTES AND DETAILS



**VALLEY GUTTER DETAIL**

SCALE: NONE NOTE: CONCRETE STRENGTH SHALL BE MIN. 3000 P.S.I. @ 28 DAYS



**TYPICAL PAVEMENT INTERFACE**

SCALE: NONE

PHASE	DATE
Project Status	Issue Date
DRG SUBMITTAL	04/11/18
60% SUBMITTAL	05/29/18
CM BID SET	07/06/18
DRG RE-SUBMITTAL	08/10/18
DRG RE-SUBMITTAL	03/15/19

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

PROJECT TEAM  
PROFESSIONAL IN CHARGE

CHAD E. EDWARDS, P.E.  
REGISTRATION  
N U M B E R 58306

APPROVED BY  
DESIGNED BY  
MK

DRAWN BY  
CHECKED BY  
MK  
CE

GRAVEN • THOMPSON AND ASSOCIATES, INC.  
ENGINEERS • PLANNERS • SURVEYORS  
180 N.W. 2ND STREET, 18TH FLOOR, MIAMI, FLORIDA 33136  
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WWW.GRAVEN-THOMPSON.COM

DESIGN CONSULTANT

GOLDEN ISLES  
TENNIS CENTER

Hallandale Beach, FL

CLIENT CODE FILE NUMBER:  
Client ID

PROJECT ID - SUBMISSION NUMBER:  
Project ID

PAVING &  
DRAINAGE DETAILS

SHEET TITLE

**ACAI**  
a s s o c i a t e s  
a r c h i t e c t u r e - e n g i n e e r i n g  
r o o f i n g - c o n s u l t a n t  
c o n s t r u c t i o n - m a n a g e m e n t

AAC01323 EB0004379 CG0010769  
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Fort Lauderdale, FL 33309  
Tel: (954) 844-1000 Fax: (954) 844-5088  
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ARCHITECT OF RECORD

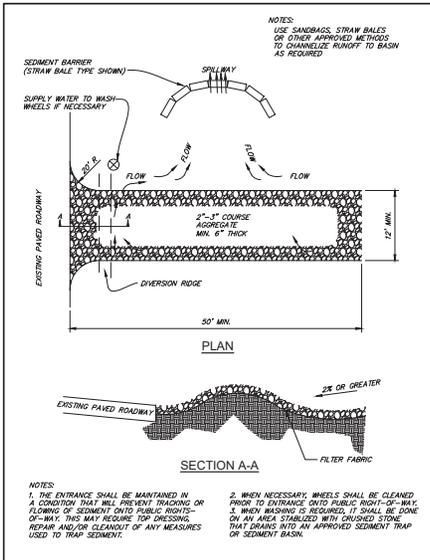
17-0004

PROJECT NUMBER

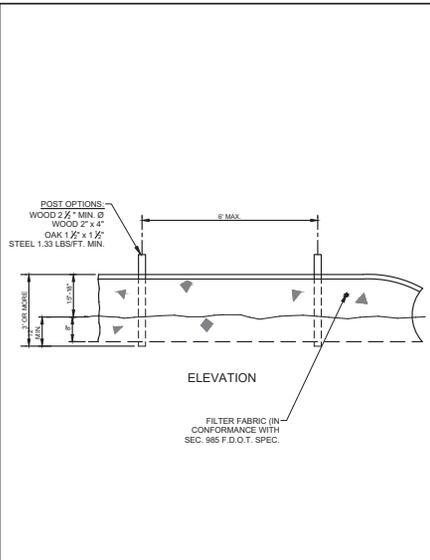
C-16

TO THE BEST OF MY KNOWLEDGE  
AND ABILITY THESE PLANS ARE  
COMPLETE AND COMPLY WITH  
THE APPLICABLE BUILDING CODES.

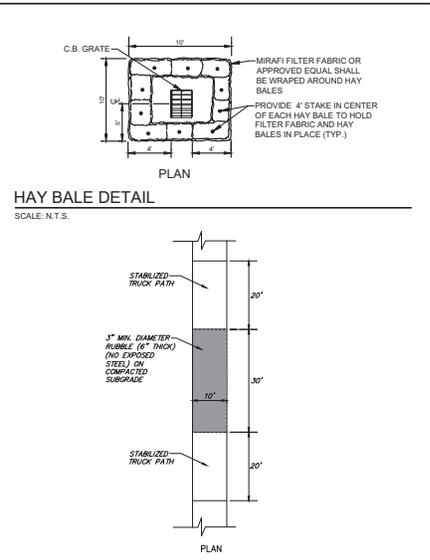
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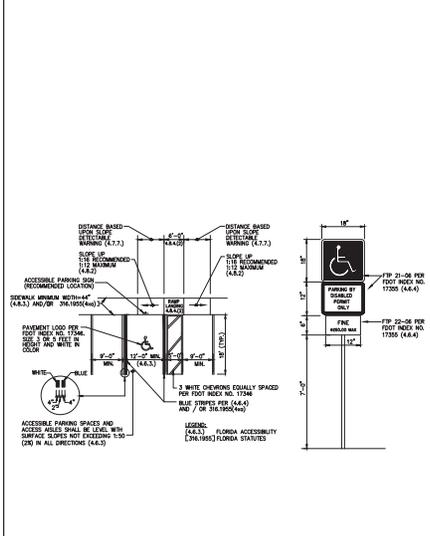
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE  
SCALE: N.T.S.



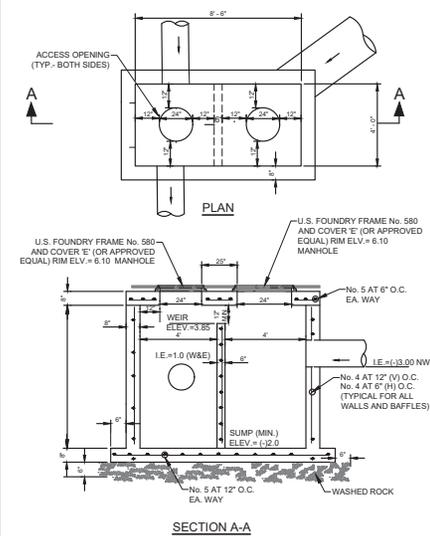
TYPE III SILT FENCE  
SCALE: N.T.S.



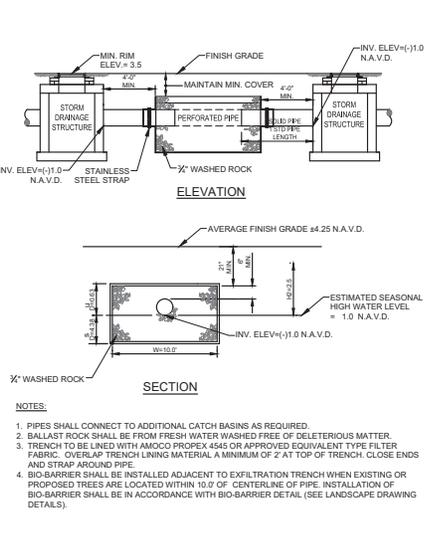
TRUCK RUMBLE STRIP AREA  
SCALE: N.T.S.



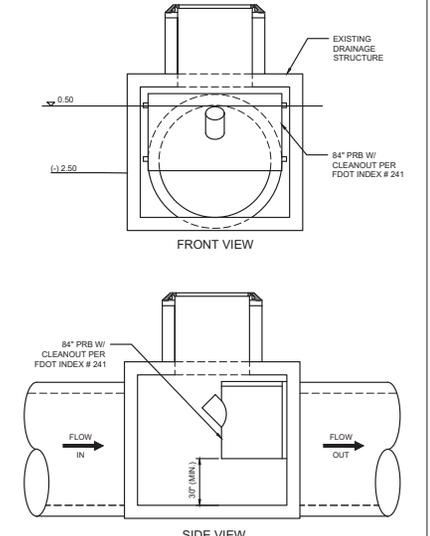
ACCESSIBLE PARKING SPACE COMPLYING WITH FLORIDA AND ADA REQUIREMENTS  
SCALE: NONE



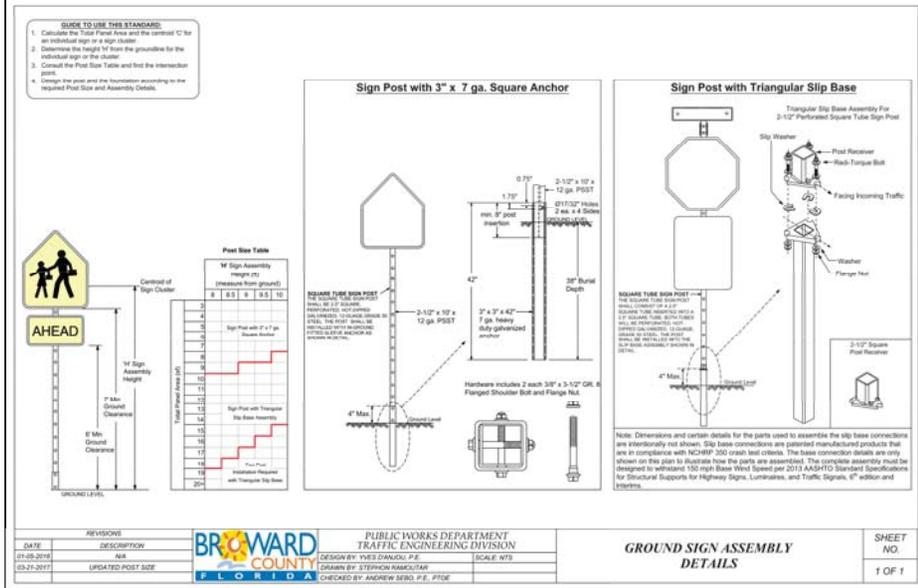
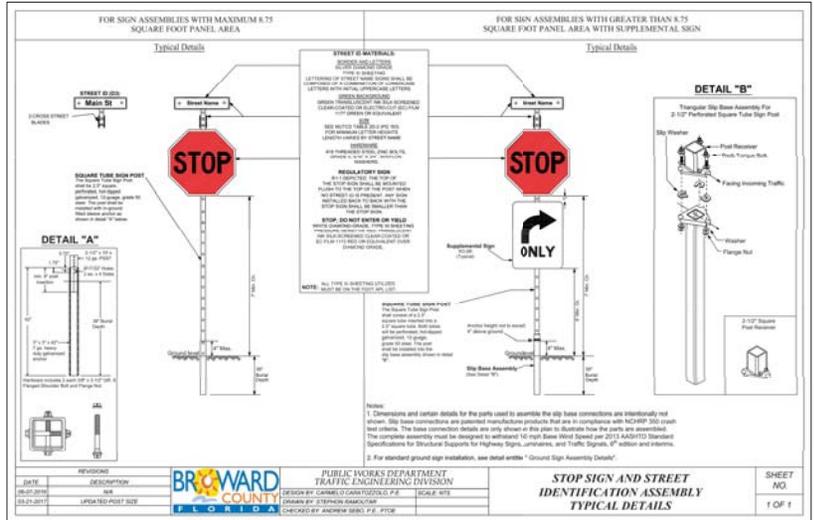
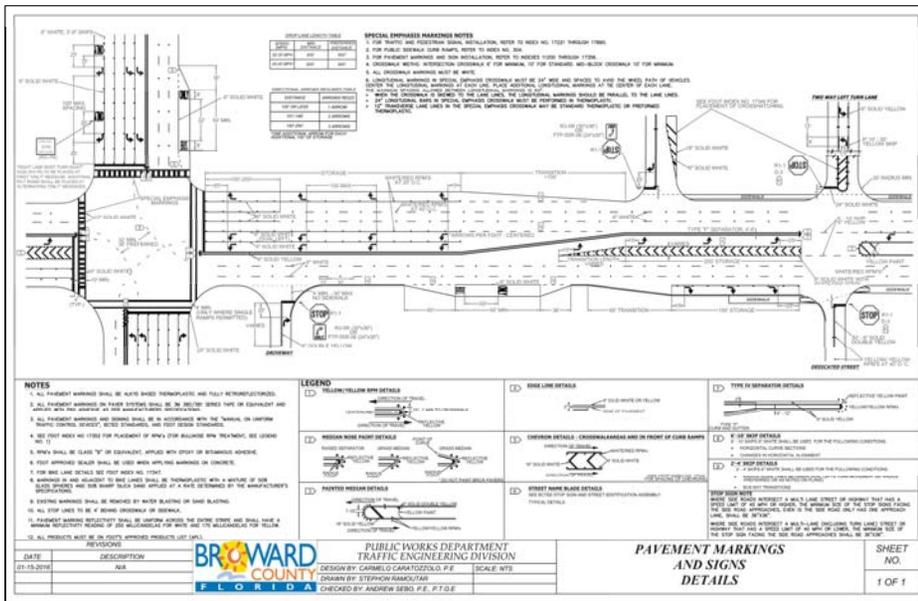
CONTROL STRUCTURE  
SCALE: N.T.S.



EXFILTRATION TRENCH DETAIL (5'x10')  
SCALE: N.T.S.



POLLUTION RETARDANT BAFFLE  
SCALE: N.T.S.



**SUBMITTALS:**

PHASE	DATE
Project Status	Issue Date
60% SUBMITTAL	04/11/18
60% SUBMITTAL	05/29/18
CD MID SET	07/06/18
DCR IS-SUBMITTAL	08/10/18
DCR PE-SUBMITTAL	03/15/19

**REVISION SCHEDULE**

NO.	DESCRIPTION	DATE
4	B.C. TRAFFIC	11-29-17

**PROJECT TEAM**  
PROFESSIONAL IN CHARGE  
CHAD E. EDWARDS, P.E.  
REGISTRATION NUMBER: 50306  
APPROVED BY  
DESIGNED BY  
DRAWN BY  
CHECKED BY



**DESIGN CONSULTANT**

**GOLDEN ISLES TENNIS CENTER**

**Hallandale Beach, FL**

**CLIENT CODE FILE NUMBER:**  
Client ID

**PROJECT ID - SUBMISSION NUMBER:**  
Project ID

**PAVING & DRAINAGE DETAILS**

**SHEET TITLE**



ACC01323 EB0004379 CG0010769  
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www.acaiworld.com

**ARCHITECT OF RECORD**

**17-0004**

**PROJECT NUMBER**

**C-17**

**SHEET NUMBER**  
TO THE BEST OF MY KNOWLEDGE  
AND ABILITY THESE PLANS ARE  
COMPLETE AND COMPLY WITH  
THE APPLICABLE BUILDING CODES

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**STANDARD DETAIL**



1. PRIOR TO BEGINNING ANY WORK, CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES THAT MAY FACILITIES WITHIN THE PROJECT AREA.
2. THE ABOVE NOTICE SHALL APPEAR ON THE COVER SHEET OF ALL CONSTRUCTION PLANS SUBMITTED TO THE COUNTY.

REPLACES FORMER DWG NO.101  
 REVISED 2/23/2011  
**UTILITY LOCATES**  
**FIGURE 101**

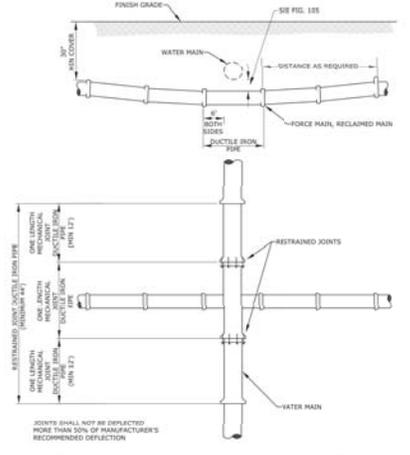
**STANDARD DETAIL**

WATER MAIN SEPARATION IN ACCORDANCE WITH F.A.C. RULE 62-555.314	JOINT CROSSING @ FULL JOINT CENTERED	ALTERNATE A. R. CROSSING	ALTERNATE B. R. CROSSING	ALTERNATE C. R. CROSSING
<b>OTHER PIPE</b> STORM SEWER, RECLAIMED WATER, SANITARY SEWER (1) VALVE SANITARY SEWER (2) GRAVITY SANITARY SEWER (3) SANITARY SEWER (4) 18" MINIMUM	<b>HORIZONTAL SEPARATION</b> 18" MINIMUM	<b>CROSSINGS (1) (4)</b> 18" MINIMUM 12" MINIMUM TO 18" MAXIMUM 12" MINIMUM TO 18" MAXIMUM 12" MINIMUM TO 18" MAXIMUM 12" MINIMUM TO 18" MAXIMUM	<b>CROSSINGS (1) (4)</b> 18" MINIMUM 12" MINIMUM TO 18" MAXIMUM 12" MINIMUM TO 18" MAXIMUM 12" MINIMUM TO 18" MAXIMUM	<b>CROSSINGS (1) (4)</b> 18" MINIMUM 12" MINIMUM TO 18" MAXIMUM 12" MINIMUM TO 18" MAXIMUM 12" MINIMUM TO 18" MAXIMUM

NOTE: THE MINIMUM SEPARATION BETWEEN WATER MAINS SHALL BE 18" UNLESS OTHERWISE APPROVED. THE MINIMUM SEPARATION IS 12" INCHES. (1) RECLAIMED WATER RECLAIMED WATER WHAT OF COMPACT 62-555.314, F.A.C. (2) LANTERN SERVICE UNIT MUST BEWHERE THE BOTTOM OF THE WATER MAIN BLANK AT LEAST 6" INCHES ABOVE THE TOP OF THE GRAVITY (3) 18" VERTICAL MINIMUM SEPARATION REQUIRED BY WWW, UNLESS OTHERWISE APPROVED.

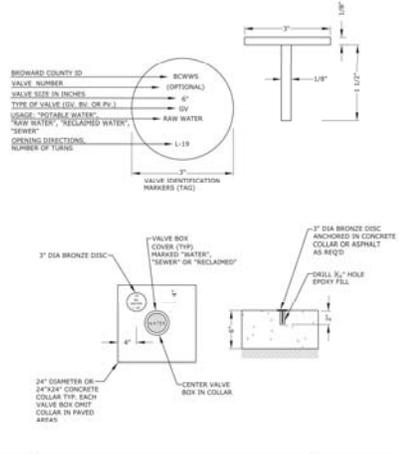
REPLACES FORMER DWG NO.105  
 REVISED 3/9/2012  
**WATER MAIN SEPARATION**  
**FIGURE 105**

**STANDARD DETAIL**



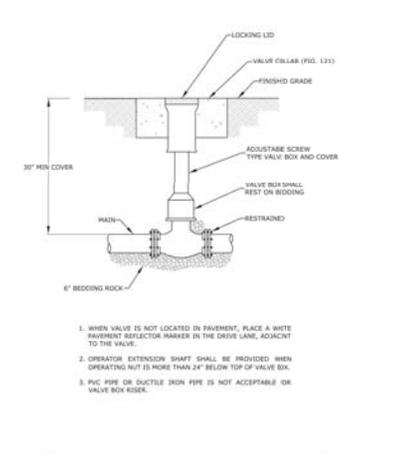
REPLACES FORMER DWG NO.106  
 REVISED 2/23/2011  
**STANDARD UTILITY CROSSING**  
**FIGURE 106**

**STANDARD DETAIL**

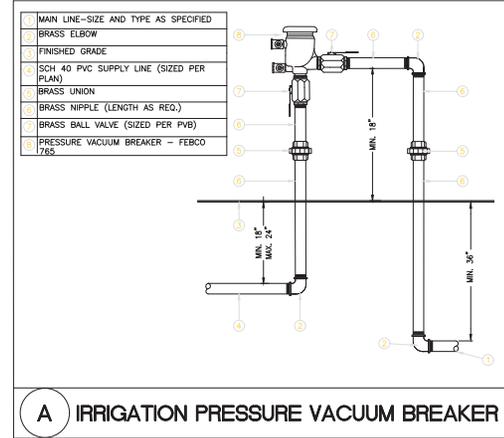


REPLACES FORMER DWG NO.3E  
 REVISED 2/23/2011  
**VALVE COLLAR AND IDENTIFICATION MARKER**  
**FIGURE 121**

**STANDARD DETAIL**



REPLACES FORMER DWG NO.123  
 REVISED 9/5/2012  
**VALVE BOX DETAIL**  
**FIGURE 123**



**A IRRIGATION PRESSURE VACUUM BREAKER**

**SUBMITTALS:**

PHASE	DATE
Project Status	Issue Date
DRG SUBMITTAL	04/11/18
6% SUBMITTAL	05/29/18
CM BID SET	07/06/18
DRG RE-SUBMITTAL	08/10/18
DRG RE-SUBMITTAL	03/15/19

**REVISION SCHEDULE**

NO	DESCRIPTION	DATE

**PROJECT TEAM**  
 PROFESSIONAL IN CHARGE  
 CHAD E. EDWARDS, P.E.  
 REGISTRATION NUMBER 50306  
 APPROVED BY  
 DESIGNED BY  
 DRAWN BY  
 CHECKED BY



**DESIGN CONSULTANT**  
 GOLDEN ISLES TENNIS CENTER  
 Hallandale Beach, FL

CLIENT CODEFILE NUMBER:  
 Client ID  
 PROJECT ID - SUBMISSION NUMBER:  
 Project ID  
**WATER & SEWER DETAILS**  
**SHEET TITLE**



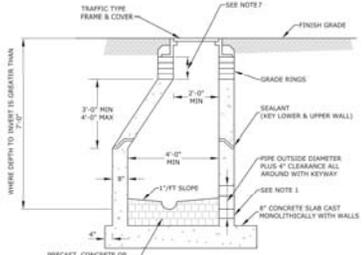
AAC01323 EB0004379 CGO010769  
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 Fort Lauderdale, FL 33309  
 Tel: (954) 484-4000 Fax: (954) 484-5088  
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 ARCHITECT OF RECORD  
**17-0004**  
 PROJECT NUMBER  
**C-18**  
 SHEET NUMBER  
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**BROWARD COUNTY PUBLIC WORKS DEPARTMENT**

**WATER & WASTEWATER SERVICES**  
DESIGN ENGINEER  
PROFESSIONAL ENGINEER  
FLORIDA REG. NO. 12388  
PHONE NO. 352-443-6700  
FAX NO. 352-443-6800

**STANDARD DETAIL**



1. MAINTENANCE ACCESS STRUCTURE ADAPTOR COUPLING NEOPRENE FOOT OR APPROVED EQUAL ARE REQUIRED FOR ALL PIPE MATERIALS, OR AS APPROVED BY WWS.
2. MAINTENANCE ACCESS STRUCTURE WALLS TO BE SEAL COATED INSIDE AND OUTSIDE WITH 16 MIL THICKNESS OF CHRYL TAP BRUSH THAT IS TESTED TO 100 PSI AND TESTED IN PLACE.
3. LIFT HOLES THROUGH PRECAST SECTIONS PERMITTED PER OSHA REQUIREMENTS.
4. ALL OPENINGS SHALL BE SEALED WITH WATERPROOF EXPANDING GROUT. SEE FIG. 322.
5. A FLOW CHANNEL SHALL BE CONSTRUCTED INSIDE MAINTENANCE ACCESS STRUCTURE TO DIRECT INFLUENT INTO FLOW STREAM.
6. ALL CONCRETE SHALL BE TYPE II CONCRETE MEETING LATEST ASTM REQUIREMENTS AND PROVIDED WITH LABORATORY CERTIFICATION ON PRECAST STRUCTURES.
7. THE CHIMNEY AREA SHALL BE MINIMUM OF 4\"/>

REPLACES FORMER DWG NO.13A  
REVISED 3/9/2012

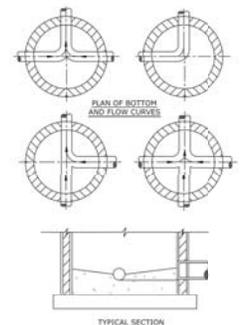
**PRECAST MAINTENANCE ACCESS STRUCTURE**

**312**

**BROWARD COUNTY PUBLIC WORKS DEPARTMENT**

**WATER & WASTEWATER SERVICES**  
DESIGN ENGINEER  
PROFESSIONAL ENGINEER  
FLORIDA REG. NO. 12388  
PHONE NO. 352-443-6700  
FAX NO. 352-443-6800

**STANDARD DETAIL**



1. PROVIDE SLOTTED BAR FOR SMOOTH FLOW BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS.
2. SLOPE MAINTENANCE ACCESS STRUCTURE SHELVE OFF MAINTENANCE ACCESS STRUCTURE WALL TO CHANNEL.
3. INVERT CHANNEL TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
4. CHANNEL SHALL BE PRECAST CONCRETE OR FILLED WITH BRICK COVERED WITH 1\"/>

REPLACES FORMER DWG NO.13B  
REVISED 3/9/2012

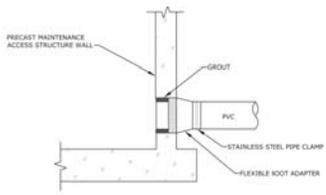
**INVERT CHANNEL FLOW DIRECTIONS**

**FIGURE 318**

**BROWARD COUNTY PUBLIC WORKS DEPARTMENT**

**WATER & WASTEWATER SERVICES**  
DESIGN ENGINEER  
PROFESSIONAL ENGINEER  
FLORIDA REG. NO. 12388  
PHONE NO. 352-443-6700  
FAX NO. 352-443-6800

**STANDARD DETAIL**



**STANDARD PRECAST MAINTENANCE ACCESS STRUCTURE PIPE CONNECTION**

WWS MAY APPROVE ALTERNATE WATER TIGHT CONNECTION.

REPLACES FORMER DWG NO.322  
REVISED 3/9/2012

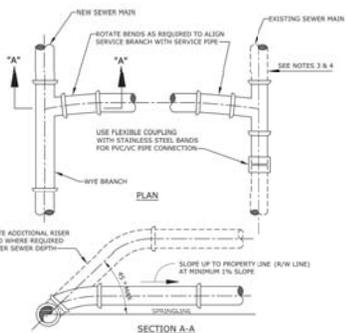
**MAINTENANCE ACCESS STRUCTURE CONNECTION DETAIL**

**FIGURE 322**

**BROWARD COUNTY PUBLIC WORKS DEPARTMENT**

**WATER & WASTEWATER SERVICES**  
DESIGN ENGINEER  
PROFESSIONAL ENGINEER  
FLORIDA REG. NO. 12388  
PHONE NO. 352-443-6700  
FAX NO. 352-443-6800

**STANDARD DETAIL**

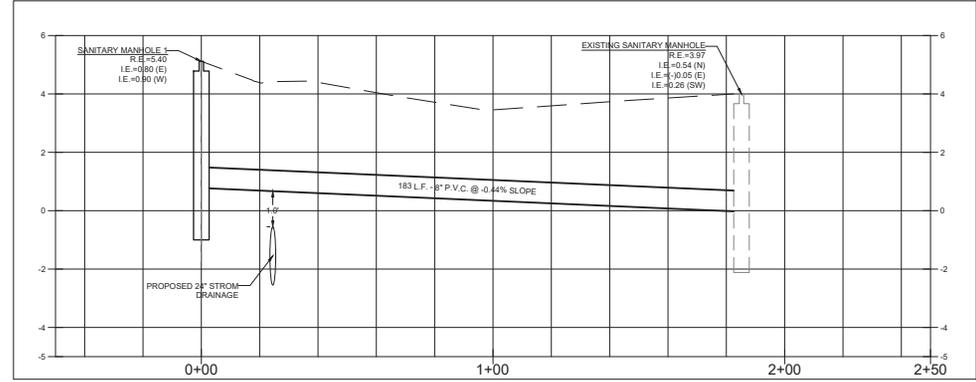


1. SINGLE SERVICE CONNECTIONS SHALL USE 6\"/>

REPLACES FORMER DWG NO.2A  
REVISED 2/23/2011

**WYE SEWER SERVICE CONNECTION**

**FIGURE 331**



**SUBMITTALS**

PHASE	DATE
Project Status	Issue Date
DRG SUBMITTAL	04/11/18
60% SUBMITTAL	05/29/18
CM BID SET	07/06/18
DRG RE-SUBMITTAL	08/10/18
DRG RE-SUBMITTAL	03/15/19

**REVISION SCHEDULE**

NO	DESCRIPTION	DATE

**PROJECT TEAM**  
PROFESSIONAL IN CHARGE

CHAD E. EDWARDS, P.E.  
REGISTRATION NUMBER 50306

APPROVED BY

DESIGNED BY MK

DRAWN BY MK

CHECKED BY CE



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**DESIGN CONSULTANT**

GOLDEN ISLES TENNIS CENTER

Hallandale Beach, FL

CLIENT CODE FILE NUMBER: Client ID

PROJECT ID - SUBMISSION NUMBER: Project ID

**WATER & SEWER DETAILS**

**SHEET TITLE**



ACAI  
ASSOCIATES, INC.  
architectural, engineering,  
roofing, consulting,  
construction management

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2917 W. Cypress Creek Rd., Suite 200  
Fort Lauderdale, FL 33309  
Tel: (954) 484-4000 Fax: (954) 484-5088  
www.acaiworld.com  
ARCHITECT OF RECORD

**17-0004**

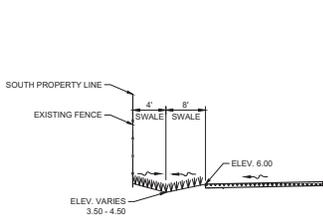
PROJECT NUMBER

**C-20**

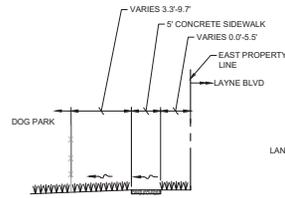
SHEET NUMBER

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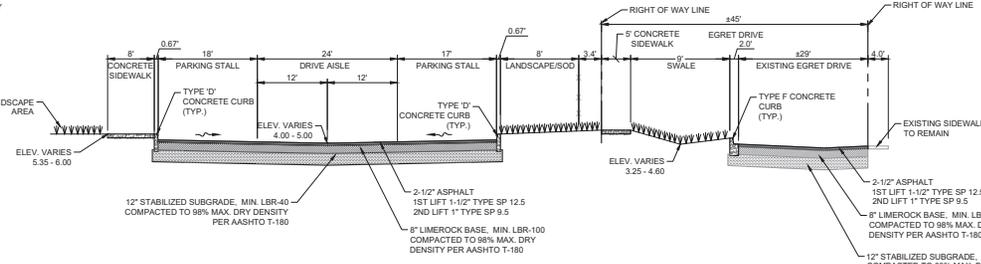
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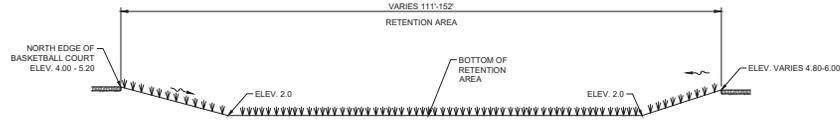
**SECTION A-A**  
N.T.S.



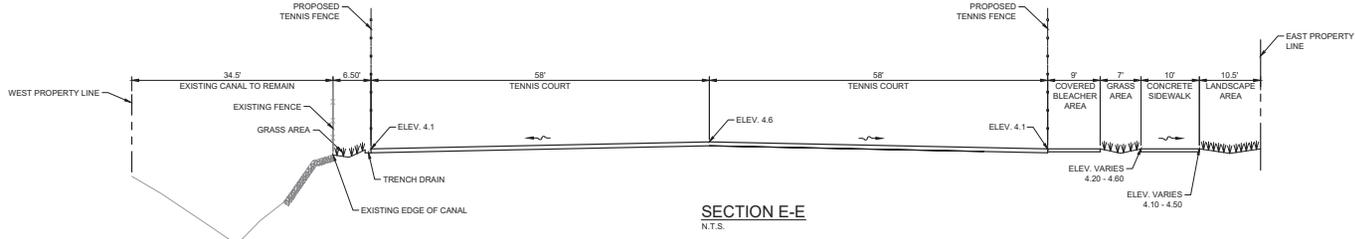
**SECTION B-B**  
N.T.S.



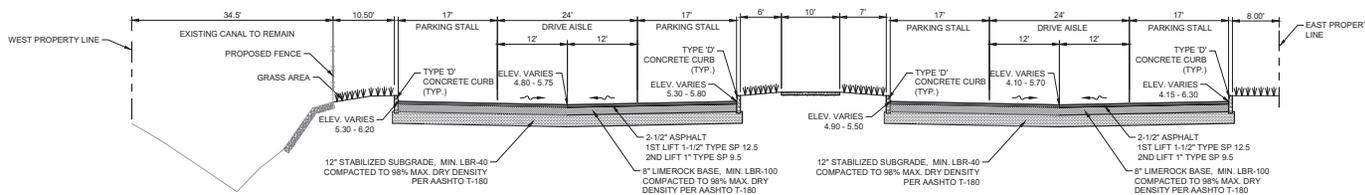
**SECTION C-C**  
N.T.S.



**SECTION D-D**  
N.T.S.



**SECTION E-E**  
N.T.S.



**SECTION F-F**  
N.T.S.

PHASE	DATE
Project Status	Issue Date
DRC SUBMITTAL	04/11/18
60% SUBMITTAL	05/29/18
CM BID SET	07/06/18
DRC RE-SUBMITTAL	08/10/18
DRC RE-SUBMITTAL	03/15/19

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

**PROJECT TEAM**  
PROFESSIONAL IN CHARGE  
CHAD E. EDWARDS, P.E.  
REGISTRATION NUMBER 95306  
APPROVED BY  
**DESIGNED BY** MK  
**DRAWN BY** MK  
**CHECKED BY** CE



**DESIGN CONSULTANT**

**GOLDEN ISLES TENNIS CENTER**

Hallandale Beach, FL  
CLIENT CODE/FILE NUMBER: Client ID  
PROJECT ID - SUBMISSION NUMBER: Project ID

**CROSS SECTIONS**

**SHEET TITLE**



ARCHITECT OF RECORD  
17-0004

**PROJECT NUMBER**  
**C-21**

**SHEET NUMBER**  
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**LEGAL DESCRIPTION:**

LOT 3, LESS THE SOUTH 7.00 FEET THEREOF, AND ALL OF LOTS 1, 2 AND 4, BLOCK 17, TOGETHER WITH TRACT 'A', LESS THE NORTH 27.00 FEET THEREOF AND LESS THE SOUTH 248.00 FEET THEREOF, "A REPLAT OF GOLDEN ISLES SEC. D," ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 53, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

# GOLDEN ISLES TENNIS CENTER DRC RE-SUBMITTAL

## HALLANDALE BEACH BROWARD COUNTY, FLORIDA



PROJECT LOCATION

LOCATION MAP

SECTION 27, TOWNSHIP 51 SOUTH, RANGE 42 EAST

**NOTES:**

BROWARD COUNTY TRAFFIC ENGINEERING DIVISION'S REVIEW DOES NOT INCLUDE A REVIEW AND ACCEPTANCE OF THE PROJECT'S DESIGN OR OPERATION. THESE ITEMS ARE TO BE REVIEWED AND APPROVED BY THE CITY ENGINEER.

BROWARD COUNTY TRAFFIC ENGINEERING DIVISION DOES NOT REVIEW AND APPROVE OR INSPECT AND ACCEPT THE FOLLOWING ITEMS FOR MAINTENANCE: PAVEMENT MARKINGS ON OR ADJACENT TO PAVER BRICKS, PAINTED ASPHALT, STAMPED ASPHALT OR PAVEMENT MARKINGS MADE OF PAVER BRICKS, RAISED INTERSECTIONS AND RELATED MARKINGS AND SIGNING, UNWARRANTED MID-BLOCK CROSSWALKS AND RELATED MARKINGS AND SIGNING, UNWARRANTED CROSSWALKS AND RELATED MARKINGS AND SIGNING, PAINTED/DECORATIVE CROSSWALKS, RAISED CROSSWALKS AND RELATED MARKINGS AND SIGNING,

RECTANGULAR RAPID FLASHER BEACONS AND RELATED MARKINGS OR SIGNING, ON-STREET PARKING AND RELATED MARKINGS AND SIGNING, IN-ROAD LIGHTING AND RELATED MARKINGS AND SIGNING, GREEN BIKE LANES, FLEXIBLE DELINEATORS, DECORATIVE SIGNS AND DECORATIVE SIGN POSTS, PLANTERS, ON-SITE PAVEMENT MARKINGS AND SIGNING, OFF-SITE PAVEMENT MARKINGS AND SIGNING IN RIGHT-OF-WAY THAT IS NOT DEDICATED FOR PUBLIC USE, SIDEWALK WORK OR ASPHALT WORK.

THE CITY ENGINEER IS RESPONSIBLE FOR THE REVIEW AND APPROVAL OF THE DESIGN AND OPERATION OF THE PROJECT, AND FOR THE INSPECTION AND ACCEPTANCE OF THE FOLLOWING ITEMS THAT WILL BE MAINTAINED BY THE CITY: PAVEMENT MARKINGS ON OR ADJACENT TO PAVER BRICKS, PAINTED ASPHALT, STAMPED ASPHALT OR PAVEMENT MARKINGS MADE OF PAVER BRICKS, RAISED INTERSECTIONS AND RELATED MARKINGS AND SIGNING, UNWARRANTED MID-BLOCK CROSSWALKS AND RELATED MARKINGS AND SIGNING, UNWARRANTED CROSSWALKS AND RELATED MARKINGS AND SIGNING, PAINTED/DECORATIVE CROSSWALKS, RAISED CROSSWALKS AND RELATED MARKINGS AND SIGNING, RECTANGULAR RAPID FLASHER BEACONS AND RELATED MARKINGS OR SIGNING, ON-STREET PARKING AND RELATED MARKINGS AND SIGNING, IN-ROAD LIGHTING AND RELATED MARKINGS AND SIGNING, GREEN BIKE LANES, FLEXIBLE DELINEATORS, DECORATIVE SIGNS AND DECORATIVE SIGN POSTS, PLANTERS, ON-SITE PAVEMENT MARKINGS AND SIGNING, OFF-SITE PAVEMENT MARKINGS AND SIGNING IN RIGHT-OF-WAY THAT IS NOT DEDICATED FOR PUBLIC USE, SIDEWALK WORK OR ASPHALT WORK.



**Craven Thompson and Associates, Inc.**  
ENGINEERS PLANNERS SURVEYORS

3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309  
FAX: (954) 739-6409 TEL.: (954) 739-6400

FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS No. 271  
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS No. C000114

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THE VAST MAJORITY OF THE SITE IS LOCATED IN THE FOLLOWING FLOOD ZONE. THE PROPOSED BUILDING IS LOCATED IN THE FOLLOWING FLOOD ZONE:

FEMA FLOOD MAP DESIGNATION:  
NEW FLOOD ZONE: AE  
NEW NAVD 88 ELEVATION: 6

Sheet Number	Sheet Title
CVR	COVER SHEET
OSP-1	OVERALL SITE PLAN
SP-1	SITE PLAN
SP-2	SITE PLAN
SP-3	SITE PLAN
SPD-1	SITE PLAN DETAILS
SPD-2	SITE PLAN DETAILS
SPD-3	SITE PLAN DETAILS
SPD-4	SITE PLAN DETAILS
TD-1	TREE DISPOSITION PLAN
TD-2	TREE DISPOSITION PLAN
TD-3	TREE DISPOSITION PLAN
C-1	COVER SHEET
C-2	GENERAL NOTES & SPECIFICATIONS
C-3	EROSION CONTROL PLAN
C-4	DEMOLITION PLAN
C-5	OVERALL PAVING GRADING & DRAINAGE PLAN
C-6	PAVING GRADING & DRAINAGE PLAN
C-7	PAVING GRADING & DRAINAGE PLAN
C-8	PAVING GRADING & DRAINAGE PLAN
C-9	OVERALL WATER & SEWER PLAN
C-10	WATER & SEWER PLAN
C-11	WATER & SEWER PLAN
C-12	WATER & SEWER PLAN
C-13	PAVEMENT MARKING & SIGNAGE PLAN
C-14	DETAILS
C-15	DETAILS
C-16	DETAILS
C-17	DETAILS
C-18	DETAILS
C-19	DETAILS
C-20	DETAILS
C-21	CROSS SECTIONS
LP-1	LANDSCAPE PLAN
LP-2	LANDSCAPE PLAN
LP-3	LANDSCAPE PLAN
LPD-1	LANDSCAPE PLAN NOTES
LPD-2	LANDSCAPE PLAN NOTES
LPD-3	LANDSCAPE PLAN DETAILS
IR-1	IRRIGATION PLAN
IR-2	IRRIGATION PLAN
IR-3	IRRIGATION PLAN
IR-4	IRRIGATION BOOSTER PUMP
IR-5	IRRIGATION DETAILS
IR-6	IRRIGATION NOTES

PREPARED FOR:

CITY OF HALLANDALE BEACH

Always call 811 two full business days before you dig to have underground utilities located and marked.

**SUBMITTALS:**

PHASE	DATE
DRC SUBMITTAL	04/11/2018
60% SUBMITTAL	05/29/2018
CM BID SET	07/06/2018
DRC RE-SUBMITTAL	08/10/2018
2ND RE-SUBMITTAL	11/08/2018
DRC RE-SUBMITTAL	03/15/2019

**Revision Schedule**

Revision #	Revision Description	Revision Date

**PROJECT TEAM**  
PROFESSIONAL LANDSCAPE ARCHITECT

CHRISTOPHER M. PHILLIPS  
REGISTRATION NUMBER LA-6667361  
APPROVED BY  
DESIGNED BY  
Designer  
DRAWN BY  
Author  
CHECKED BY  
Checker

Craven Thompson and Associates, Inc.  
ENGINEERS • PLANNERS • SURVEYORS  
500 EGRET DR. HALLANDALE BEACH, FLORIDA 33009  
PH: 954-739-6400 FAX: 954-739-6409  
WWW.CRAVEN-THOMPSON.COM

**DESIGN CONSULTANT**

GOLDEN ISLES TENNIS FACILITY

500 Egret Dr  
Hallandale Beach, FL 33009

CLIENT CODE/FILE NUMBER:  
PROJECT ID - SUBMISSION NUMBER:

COVER SHEET

SHEET TITLE

ACAI ASSOCIATES, INC.  
ARCHITECTURE • INTERIORS  
LANDSCAPE ARCHITECTURE  
ROOFING • CONSULTING  
CONSTRUCTION MANAGEMENT

AA001323 EB0004379 CGC010789  
2337 W. Cypress Creek Rd., Suite 1010  
Fort Lauderdale, FL 33309  
Tel: 954-484-4000 Fax: 954-484-5988  
www.acai-world.com  
ARCHITECT OF RECORD

16-030 G01

PROJECT NUMBER

CVR

TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE PLANS ARE COMPLETE AND COMPLY WITH THE APPLICABLE BUILDING CODES

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DATE: 03.15.2019

CTA PROJECT NUMBER: 17-0004-001-01

PHASE	DATE
DRC SUBMITTAL	04/11/2018
60% SUBMITTAL	05/29/2018
CM BID SET	07/06/2018
DRC RE-SUBMITTAL	08/10/2018
2ND RE-SUBMITTAL	11/09/2018
DRC RE-SUBMITTAL	03/15/2019

Revision Schedule		
Revision	Description	Revision Date

PROJECT TEAM  
PROFESSIONAL LANDSCAPE ARCHITECT

CHRISTOPHER M. PHILLIPS  
REGISTRATION NUMBER LA-6667361

APPROVED BY  
DESIGNED BY  
DRAWN BY  
CHECKED BY

Designer  
Author  
Checker



DESIGN CONSULTANT

GOLDEN ISLES TENNIS FACILITY

500 Egret Dr  
Hallandale Beach, FL 33009

CLIENT CODE/FILE NUMBER:  
PROJECT ID - SUBMISSION NUMBER:

OVERALL SITE PLAN

SHEET TITLE



AAC001323 EB0004379 CG010769  
2337 W. Cypress Creek Rd., Suite 210 B  
F.O.I. Lauderdale, FL 33309  
Tel: 954-484-4000 Fax: 954-484-5988  
www.acai.com

ARCHITECT OF RECORD

16-030 G01

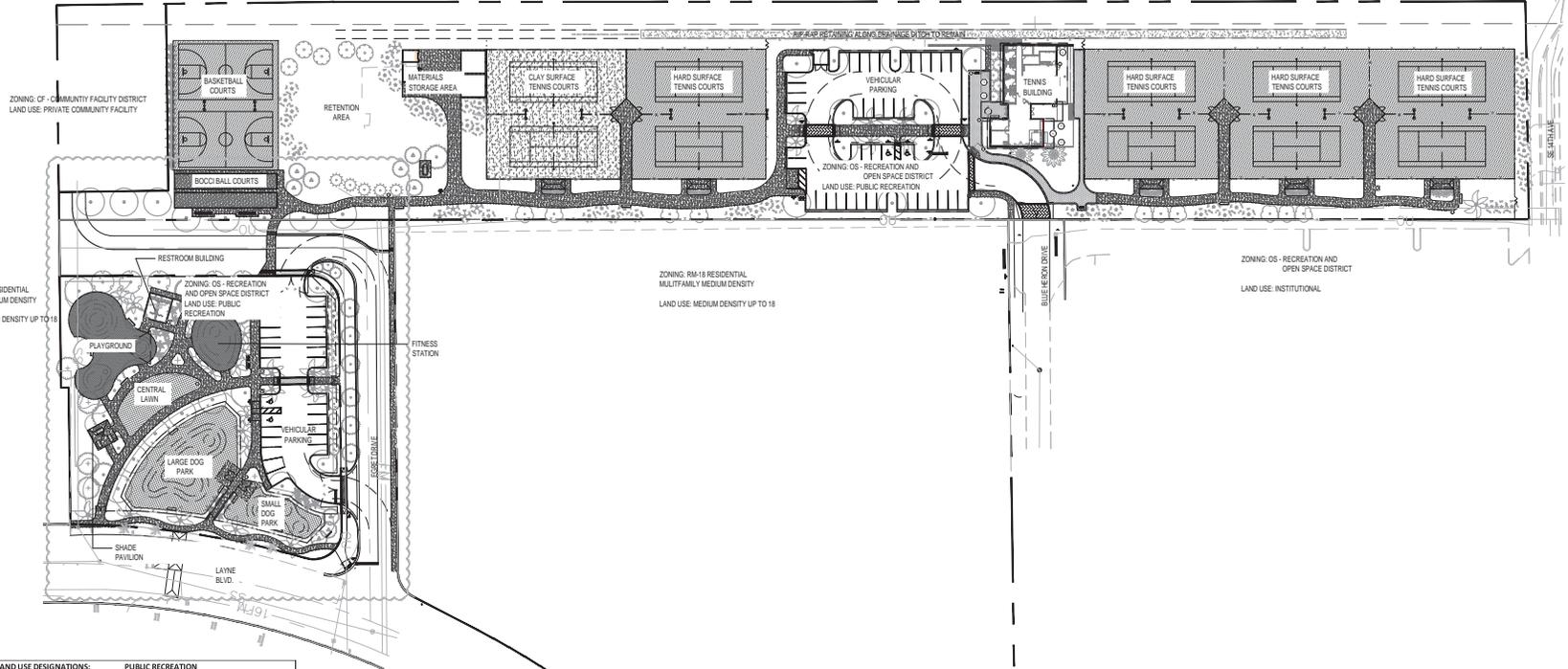
PROJECT NUMBER

OSP-1

TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE PLANS ARE COMPLETE AND COMPLY WITH THE APPLICABLE BUILDING CODES

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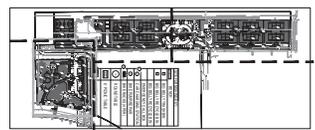
ZONING: O-RA COMMERCIAL RECREATIONAL ACTIVE DISTRICT  
LAND USE: RECREATION



LAND USE DESIGNATIONS:	PUBLIC RECREATION	PRIVATE COMMUNITY FACILITY	
ZONING DESIGNATIONS:	OS: RECREATION AND OPEN SPACE DISTRICT	CF: COMMUNITY FACILITY DISTRICT	
SITE CALCULATIONS:	SF	ACRES	%
WEST CENTER PARCEL	256,506.01	5.89	
PARK OUT PARCEL	57,589.96	1.32	
PUMP STATION PARCEL	16,394.49	0.38	
* evaluated from calculations, unaffected by design			
SITE AREA (DESIGN AREA)	297,705	6.83	100.00%
BUILDING COVERAGE	8,517	0.20	2.86%
VEHICULAR USE AREA	30,605	0.70	10.28%
OPEN SPACE	149,616	3.43	50.26%
GROSS FLOOR AREA			
TENNIS BUILDING	3,736	0.09	1.25%
TENNIS BUILDING COVERED TERRACE	2,121	0.05	24.90%
STORAGE STRUCTURE/DUMPSTER	816	0.02	0.27%
RESTROOM BUILDING	489	0.01	5.74%
SHADE PAVILIONS	1,355	0.03	0.46%
TOTAL	8,517	0.20	2.86%
OPEN SPACE CALCULATION			
CLAY TENNIS COURTS	14,070	0.32	4.73%
INTERIOR VEHICULAR USE AREA		0.00	0.00%
OTHER PERMIABLE LANDSCAPE			
TOTAL	149,616	0.32	50.26%
IMPERVIOUS AREA CALC.			
BUILDING COVERAGE	8,517	0.20	2.86%
VEHICULAR USE AREA	30,605	0.70	10.28%
HARD TENNIS COURTS	57,036	1.31	19.16%
PLAYGROUND/FITNESS	6,000	0.14	2.02%
BASKETBALL COURTS	10,895	0.25	3.60%
BOCCI BALL COURTS	2,576	0.06	0.87%
WALKWAYS	32,460	0.75	10.90%
TOTAL	148,089	3.40	49.74%
PARKING DATA:	PROVIDED		
TYPICAL SPACE (17X9 W/2' BUMPER OVERHANG)	65	SPACES	
STANDARD HANDICAPPED SPACE	4	SPACES	
TOTAL	69	SPACES	
BICYCLE PARKING:	PROVIDED		
Bike Rack (8 bike capacity)	6 RACKS		
TOTAL	48	BIKES	
	48	SPACES	

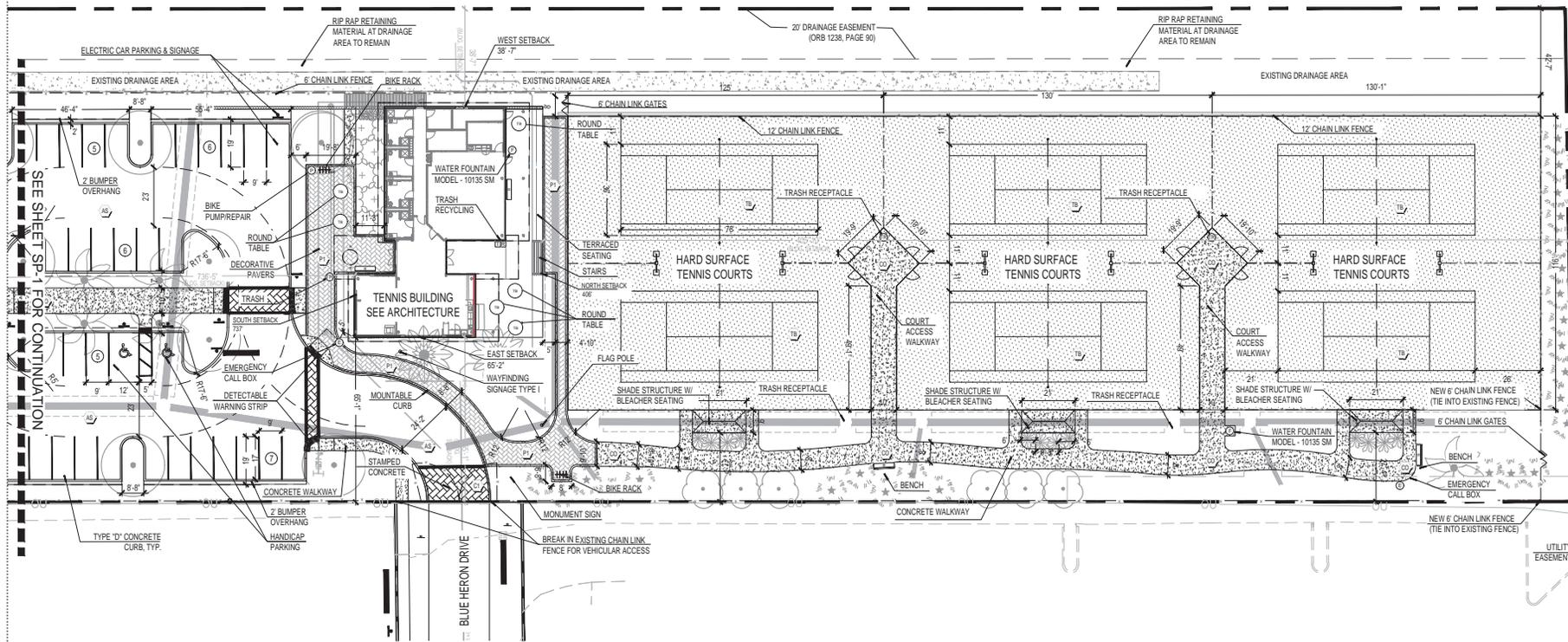
EXISTING PARK DATA	PUBLIC RECREATION	PRIVATE COMMUNITY FACILITY	
ZONING DESIGNATIONS:	OS: RECREATION AND OPEN SPACE DISTRICT	CF: COMMUNITY FACILITY DISTRICT	
SITE CALCULATIONS:	SF	ACRES	%
TOTAL AREA	297,705	6.83	100.00%
BUILDING COVERAGE	8,517	0.20	2.86%
SITE AMENITY DATA:			
TENNIS COURTS	10		
OTHER HARD COURTS	2	PICKLEBALL/BASKETBALL	
BOCCI BALL	2		
PLAYGROUND	1	4163.28 SF	
FITNESS AREA	1	1837.50 SF	
PARKING DATA:			
TENNIS CENTER PARKING SPACES	43	(2 DISABLED STALLS)	
PARK PARKING SPACES	26	(2 DISABLED STALLS)	
TOTAL	69	SPACES	

WAYFINDING SIGNAGE (EXACT LOCATION TBD)



KEY MAP





**SUBMITTALS:**

PHASE	DATE
DRC SUBMITTAL	04/11/2018
60% SUBMITTAL	05/29/2018
CM BID SET	07/06/2018
DRC RE-SUBMITTAL	08/10/2018
2ND RE-SUBMITTAL	11/08/2018
DRC RE-SUBMITTAL	03/15/2019

**Revision Schedule**

Revision #	Description	Revision Date

**PROJECT TEAM**  
 PROFESSIONAL LANDSCAPE ARCHITECT

CHRISTOPHER M. PHILLIPS  
 REGISTRATION NUMBER LA-6607361

APPROVED BY \_\_\_\_\_  
 DESIGNED BY \_\_\_\_\_ Designer  
 DRAWN BY \_\_\_\_\_ Author  
 CHECKED BY \_\_\_\_\_ Checker



**DESIGN CONSULTANT**

GOLDEN ISLES TENNIS FACILITY

500 Egret Dr  
 Hallandale Beach, FL 33009

CLIENT CODE/FILE NUMBER:  
 PROJECT ID - SUBMISSION NUMBER:

**SITE PLAN**

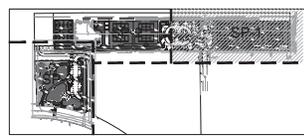
SHEET TITLE

**SITE FURNISHING KEY**

SYMB	ITEM:	DETAIL NUMBER:
[BENCH]	BENCH	2 / SPD-2
[BIG BELLY TRASH BIN]	BIG BELLY TRASH BIN	4 / SPD-2
[BIG BELLY RECYCLE BIN]	BIG BELLY RECYCLE BIN	4 / SPD-2
[EMERGENCY CALL BOX]	EMERGENCY CALL BOX	5 / SPD-2
[CAR CHARGING STATION]	CAR CHARGING STATION	SHOP DRAWING
[BIKE PUMP/REPAIR]	BIKE PUMP/REPAIR	9 / SPD-2
[BIKE RACKS]	BIKE RACKS	8 / SPD-2
[ROUND TABLE]	ROUND TABLE	3 / SPD-2
[PICNIC TABLE]	6' PICNIC TABLE	6 / SPD-2
[ADA PICNIC TABLE]	8' ADA PICNIC TABLE	6 / SPD-2
[DOG WATERING STATION]	DOG WATERING STATION	5 / SPD-3
[DOG WASTE STATION]	DOG WASTE STATION	6 / SPD-3

**SITE HARDSCAPE KEY**

SYMB	ITEM:	DETAIL NUMBER:
[AS]	ASPHALT	SEE CIVIL
[CO]	CONCRETE STANDARD GREY	4 / SPD-1
[C1]	STAMPED CONCRETE AT CROSSWALKS	5 / SPD-1
[PI]	4"x8" PAVERS HERRINGBONE PATTERN	2 & 3 / SPD-1
[AT]	ARTIFICIAL TURF AT BOCCI BALL	10 / SPD-1
[PG]	PLAYGROUND SURFACING	8 & 9 / SPD-1
[TB]	TENNIS & BASKETBALL SURFACING - PLEXIPAVE	6 / SPD-1
[CY]	CLAY TENNIS COURTS	7 / SPD-1



**ACAI**  
 a s s o c i a t e d e n g i n e e r s  
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 r o o l i n g • c o n s u l t i n g  
 c o n s t r u c t i o n • m a n a g e m e n t

AAC001323 EB0004379 CGC010789  
 2337 W. Cypress Creek Rd., Suite 210  
 Ft. Lauderdale, FL 33309  
 Tel: 954-484-4000 Fax: 954-484-5588  
 www.acai.com

**ARCHITECT OF RECORD**

**16-030 G01**

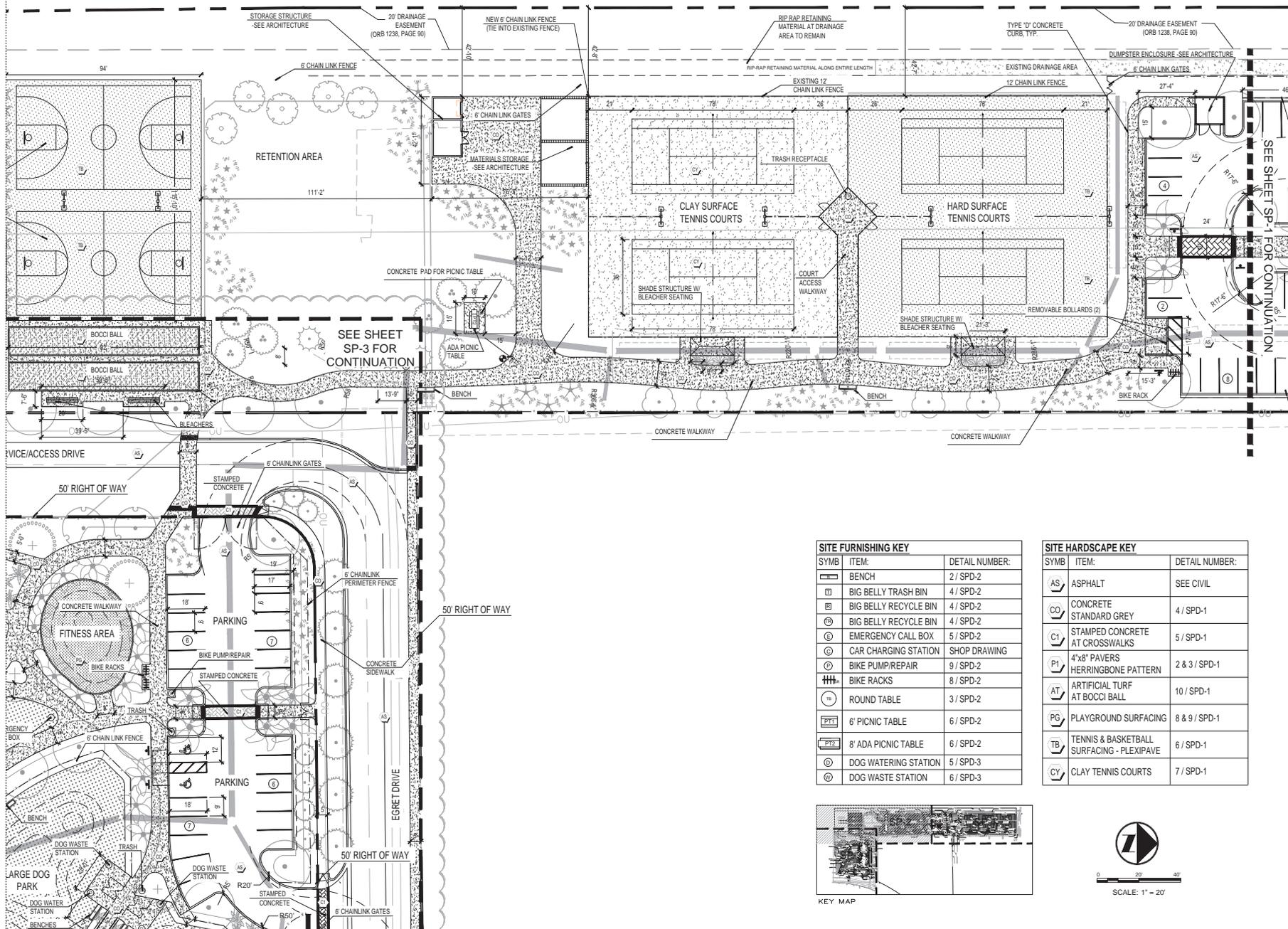
PROJECT NUMBER

**SP-1**

SHEET NUMBER

TO THE BEST OF MY KNOWLEDGE  
 AND ABILITY THESE PLANS ARE  
 COMPLETE AND COMPLY WITH THE  
 APPLICABLE BUILDING CODES

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**SUBMITTALS:**

PHASE	DATE
DRC SUBMITTAL	04/11/2018
60% SUBMITTAL	05/29/2018
CM BID SET	07/06/2018
DRC RE-SUBMITTAL	08/10/2018
2ND DR SUBMITTAL	11/08/2019
DRC RE-SUBMITTAL	03/15/2019

**Revision Schedule**

Revision #	Revision Description	Revision Date

**PROJECT TEAM**  
 PROFESSIONAL LANDSCAPE ARCHITECT  
 CHRISTOPHER M. PHILLIPS  
 REGISTRATION NUMBER: LA-6867361  
 APPROVED BY  
 DESIGNED BY  
 Designer  
 DRAWN BY  
 Author  
 CHECKED BY  
 Checker



**DESIGN CONSULTANT**  
 GOLDEN ISLES TENNIS FACILITY

500 Egret Dr  
 Hallandale Beach, FL 33009

CLIENT CODE/FILE NUMBER:  
 PROJECT ID - SUBMISSION NUMBER:

**SITE PLAN**

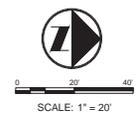
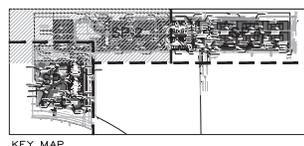
SHEET TITLE

**SITE FURNISHING KEY**

SYMB	ITEM:	DETAIL NUMBER:
[Symbol]	BENCH	2 / SPD-2
[Symbol]	BIG BELLY TRASH BIN	4 / SPD-2
[Symbol]	BIG BELLY RECYCLE BIN	4 / SPD-2
[Symbol]	BIG BELLY RECYCLE BIN	4 / SPD-2
[Symbol]	EMERGENCY CALL BOX	5 / SPD-2
[Symbol]	CAR CHARGING STATION	SHOP DRAWING
[Symbol]	BIKE PUMP/REPAIR	9 / SPD-2
[Symbol]	BIKE RACKS	8 / SPD-2
[Symbol]	ROUND TABLE	3 / SPD-2
[Symbol]	6' PICNIC TABLE	6 / SPD-2
[Symbol]	8' ADA PICNIC TABLE	6 / SPD-2
[Symbol]	DOG WATERING STATION	5 / SPD-3
[Symbol]	DOG WASTE STATION	6 / SPD-3

**SITE HARDSCAPE KEY**

SYMB	ITEM:	DETAIL NUMBER:
[Symbol]	ASPHALT	SEE CIVIL
[Symbol]	CONCRETE STANDARD GREY	4 / SPD-1
[Symbol]	STAMPED CONCRETE AT CROSSWALKS	5 / SPD-1
[Symbol]	4"x8" PAVERS HERRINGBONE PATTERN	2 & 3 / SPD-1
[Symbol]	ARTIFICIAL TURF AT BOCCI BALL	10 / SPD-1
[Symbol]	PLAYGROUND SURFACING	8 & 9 / SPD-1
[Symbol]	TENNIS & BASKETBALL SURFACING - PLEXIPAVE	6 / SPD-1
[Symbol]	CLAY TENNIS COURTS	7 / SPD-1



**ACAI**  
 a s o c i a t e d e s i g n i n g  
 architecture - engineering  
 roofing - consulting  
 construction - management

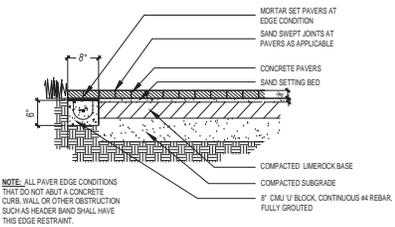
16-030 G01

**SP-2**

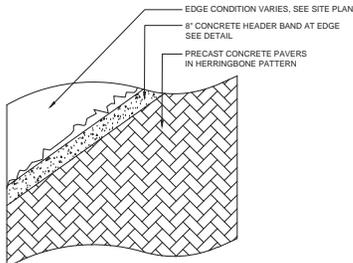
TO THE BEST OF MY KNOWLEDGE  
 AND ABILITY THESE PLANS ARE  
 COMPLETE AND COMPLY WITH THE  
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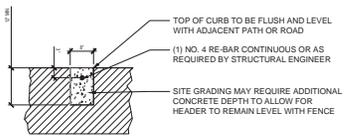
**PRODUCTS**  
 FIELD PAVERS: PLAZA SERIES - 4'X8'X 2-3/8" CONCRETE PAVERS  
 COLOR: HAPLI  
 MANUFACTURER: BELGARD WWW.BELGARD.COM  
 CONTACT: FRANK GONZALEZ PHONE: 954-972-7400



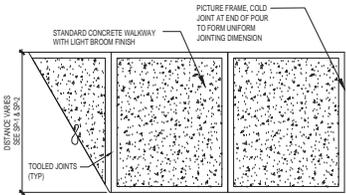
**1 CONCRETE PAVER EDGE RESTRAINT**  
 DETAIL NTS



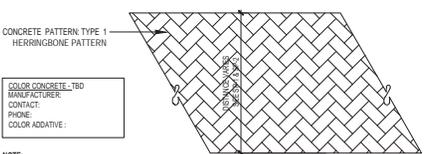
**2 CONCRETE PAVER EDGE RESTRAINT**  
 DETAIL NTS



**3 8" WIDE CONCRETE HEADER**  
 SECTION NTS



**4 STANDARD CONCRETE PAVING**  
 PLAN NTS

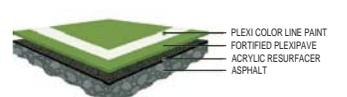


COLOR CONCRETE TBD  
 CONTACT:  
 PHONE:  
 COLOR ADIATIVE:

**NOTE:**  
 1) MOCKUPS: PROVIDE A 10'X10' MOCKUP TO DEMONSTRATE PROPOSED SURFACE FINISH, TEXTURE, AND COLOR. USE THE SAME CEMENT BRAND, AGGREGATE TYPE AND CONSTRUCTION METHODS THAT WILL BE USED ON THE JOB. MAINTAIN APPROVED SAMPLE PANEL ON SITE EXPOSED TO VIEW FOR DURATION OF PROJECT, AFTER ARCHITECT'S ACCEPTANCE OF VISUAL QUALITIES. IT IS SUGGESTED TO POUR THE SAMPLE ON A MOVEABLE PALLET SO THAT IT CAN BE READILY MOVED IF NEEDED. POUR MOCKUP UNDER WEATHER CONDITIONS THAT WILL APPROXIMATE ANTICIPATED WEATHER CONDITIONS, INCLUDING SHADING, TEMPERATURE, TIME OF DAY, FINISHERS' TOOLS, CURING PRACTICES, ETC. CHECK AND VERIFY AIR CONTENT AND SLUMP.  
 2) CONCRETE TO BE SEALED WITH CLEAR "NATURAL LOOK" PENETRATING SEALER BY GLAZER SEAL. PRODUCT SPECIFIED TO BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL.  
 3) FINISHER QUALIFICATIONS: COMPANY SPECIALIZING IN PERFORMING THE WORK OF THIS SECTION WITH A MINIMUM OF 5-YEARS DOCUMENTED EXPERIENCE OR NOT LESS THAN 10 PROJECTS WITH SIMILAR QUANTITY OF SURFACE AREA FOR COLORED, IMPRINTED OR SPECIALTY CONCRETE.  
 4) ALL CONCRETE TO BE A MINIMUM OF 6" THICK IN ALL AREAS

**5 STAMPED CONCRETE - CROSSWALKS**  
 PLAN NTS

**NOTE:**  
 1. INSTALL PER MANUFACTURERS SPECIFICATIONS  
 2. CONTRACTOR TO SUBMIT PRODUCT INFO FOR APPROVAL



**6 PLEXIPAWE - TENNIS AND BASKETBALL SURFACING**  
 DETAIL NTS

**Clay**

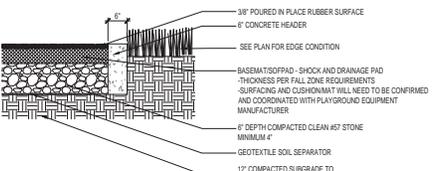
1. Geotextile membrane laid on the sub-grade.
2. 120 - 600 mm compacted depth of foundation.
3. 60 - 100 mm of graded aggregate that supports capillary action.
4. 40 - 50 mm compacted depth of crushed aggregate.
5. 3 - 6 mm of fine crushed aggregate.

Clay courts need to be built with a slope of between 0.25 and 0.35% (for above ground irrigation).

**7 CLAY TENNIS COURT**  
 DETAIL NTS

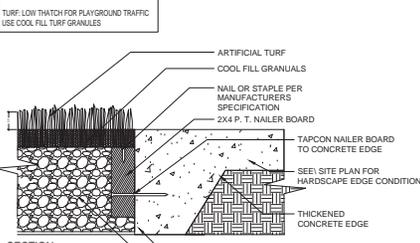
POURED IN PLACE RUBBERIZED SURFACE MANUFACTURER: NO FAULT (OR APPROVED EQUAL)  
 CONTACT: Catherine Thomas  
 PH: 1.800.609.6066  
 EMAIL: catherine@nofault.com  
 WEBSITE: www.nofault.com

**PRODUCT INFORMATION:**  
 RUBBER SURFACING TO BE COMPOSED OF 4 COLORS WITH EACH COLOR REPRESENTING 25% OF THE TOTAL  
 NO BLACK COLOR PELLETS WILL BE USED.



**8 RUBBER PLAY SURFACE**  
 DETAIL NTS

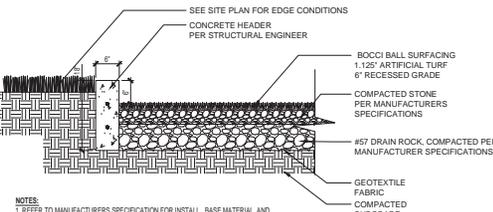
POURED IN PLACE RUBBERIZED SURFACE MANUFACTURER: NO FAULT (OR APPROVED EQUAL)  
 CONTACT: Catherine Thomas  
 PH: 1.800.609.6066  
 EMAIL: catherine@nofault.com  
 WEBSITE: www.nofault.com



**NOTE:**  
 1. REFER TO MANUFACTURERS SPECIFICATION FOR INSTALL. BASE MATERIAL AND TURF FILL AGGREGATE. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL.  
 2. ALL HARDWARE AND ATTACHMENTS TO BE GALVANIZED  
 3. FOR AREAS WHERE THE TURF IS ADJACENT TO A CONCRETE WALL, CURB, OR SLAB INSTALL CAN OMIT THE CONCRETE HEADER.  
 SEE PLAN FOR CONDITION.  
 4. CONTRACTOR TO PROVIDE A 4'X4' MOCKUP WITH TURF INFILL FOR APPROVAL.

**9 ARTIFICIAL TURF AT PLAYGROUND**  
 DETAIL NTS

**PRODUCTS**  
 ARTIFICIAL TURF: PERFORMA PRO  
 COLOR: SUMMER BLEND  
 FACE WEIGHT: 35 OZ.  
 PILE HEIGHT: 1.125"  
 THATON: NONE  
 MANUFACTURER: XGRASS WWW.XGRASS.COM  
 PHONE: 1.877.881.8477



**NOTE:**  
 1. REFER TO MANUFACTURERS SPECIFICATION FOR INSTALL. BASE MATERIAL AND TURF FILL AGGREGATE. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL.  
 2. ALL HARDWARE AND ATTACHMENTS TO BE GALVANIZED  
 3. FOR AREAS WHERE THE TURF IS ADJACENT TO A CONCRETE WALL, CURB, OR SLAB INSTALL CAN OMIT THE CONCRETE HEADER.  
 SEE PLAN FOR CONDITION.

**10 BOCCI BALL SURFACING**  
 DETAIL NTS

**SUBMITTALS:**

PHASE	DATE
DRC SUBMITTAL	04/11/2018
60% SUBMITTAL	05/29/2018
CM BID SET	07/06/2018
DRC RE-SUBMITTAL	08/10/2018
2ND RE-SUBMITTAL	11/08/2018
DRC RE-SUBMITTAL	03/15/2019

**Revision Schedule**

Revision #	Revision Description	Revision Date

**PROJECT TEAM**  
 PROFESSIONAL LANDSCAPE ARCHITECT  
 CHRISTOPHER M. PHILLIPS  
 REGISTRATION: N 11486  
 L 64667361  
 APPROVED BY: \_\_\_\_\_  
 DESIGNED BY: \_\_\_\_\_  
 Designer  
 DRAWN BY: \_\_\_\_\_  
 Author  
 CHECKED BY: \_\_\_\_\_  
 Checker



CHRYSTOPHER M. PHILLIPS  
 ENGINEERS • PLANNERS • SURVEYORS  
 990 W. 2ND STREET, SUITE 1000, ATLANTA, GA 30331  
 404.525.7800  
 www.phillipsdesign.com

**DESIGN CONSULTANT**

GOLDEN ISLES TENNIS FACILITY

550 Egret Dr  
 Hallandale Beach, FL 33009

CLIENT CODE/FILE NUMBER:  
 PROJECT ID - SUBMISSION NUMBER:

SITE PLAN DETAILS  
 SHEET TITLE



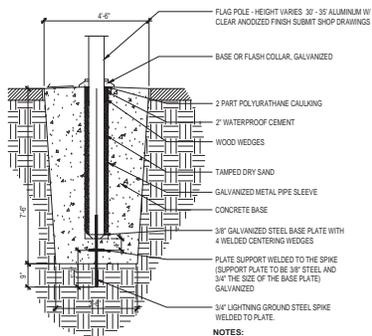
ACA001323 EB0004379 CGC010769  
 2197 W. Cypress Creek Rd., Suite 210  
 Ft. Lauderdale, FL 33309  
 Tel: 954-484-4000 Fax: 954-484-5988  
 www.acaiworld.com

ARCHITECT OF RECORD

16-030 G01

SHEET NUMBER  
 SPD-1  
 TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE PLANS ARE COMPLETE AND COMPLY WITH THE APPLICABLE BUILDING CODES

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1 FLAG POLE BASE  
DETAIL NTS



PRODUCT INFO:  
MODEL: 1984  
COLOR FINISH: STANDARD CONCRETE-S88 FINISH  
MATERIAL: CONCRETE TABLE / PPE SEAT  
AVAILABLE IN STANDARD AND WHEELCHAIR ACCESSIBLE  
MANUFACTURER: DOTY & SONS CONCRETE PRODUCTS, INC

6 CONCRETE PICNIC TABLE  
DETAIL NTS



PRODUCT INFO:  
MODEL: 1035-10 SINKS  
COLOR: CHROME  
MATERIAL: 304 SCHEDULE 10 STAINLESS STEEL  
MANUFACTURER: MOST DEFENDABLE FOUNTAINS

7 WATER FOUNTAIN / BOTTLE FILLING STATION  
DETAIL NTS



PRODUCT INFO:  
MODEL: NEOCOMBO  
COLOR: POWDERCOATED SILVER  
MATERIAL: CAST ALUMINUM  
MANUFACTURER: LANDSCAPE FORMS

2 BENCH  
DETAIL NTS



PRODUCT INFO:  
MODEL: BIG BELLY HIGH CAPACITY COMPACTOR  
SINGLE: 33 GALLONS COMPACTED  
COLOR: STANDARD GRAY  
MATERIAL: GALVANIZED SHEET METAL  
MANUFACTURER: BIGBELLY SOLAR



PRODUCT INFO:  
MODEL: BIG BELLY RECYCLING RECEPTACLE  
SINGLE: 33 GALLONS COMPACTED  
COLOR: STANDARD GRAY  
MATERIAL: GALVANIZED SHEET METAL  
MANUFACTURER: BIGBELLY SOLAR

4 TRASH / RECYCLE RECEPTACLE  
DETAIL NTS



PRODUCT INFO:  
MODEL: 1100  
COLOR: SILVER  
MATERIAL: CAST ALUMINUM  
MANUFACTURER: ANOVA

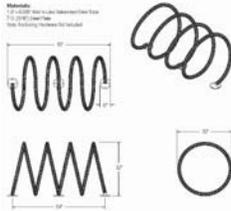
3 ROUND TABLE  
DETAIL NTS



PRODUCT INFO:  
MANUFACTURER: CONNECTIVITY INC  
CONTACT: 84.587.1414  
WWW.CONNECTIVITYINC.COM  
MODEL INFO: A1410 - SOLAR PART # 192N4289A

NOTES:  
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS  
2. SEE PLANS FOR CALL BOX LOCATIONS  
3. COLOR: TBD

5 EMERGENCY CALL BOX  
DETAIL NTS



PRODUCT INFO:  
MODEL: BIKER 4-LOOPS  
COLOR: LIGHT GRAY SILVER  
MATERIAL: GALVANIZED STEEL  
MANUFACTURER: BILSON  
CONTACT: 1-800-323-6664

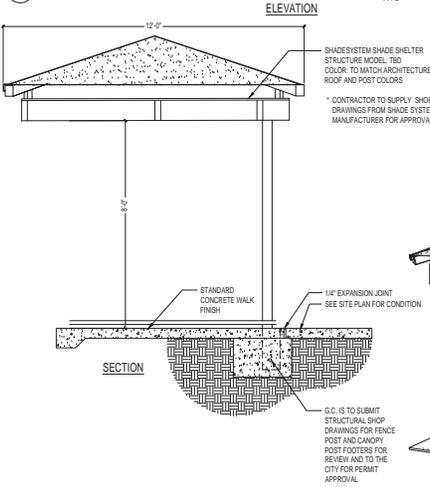
8 BIKE RACK  
DETAIL NTS



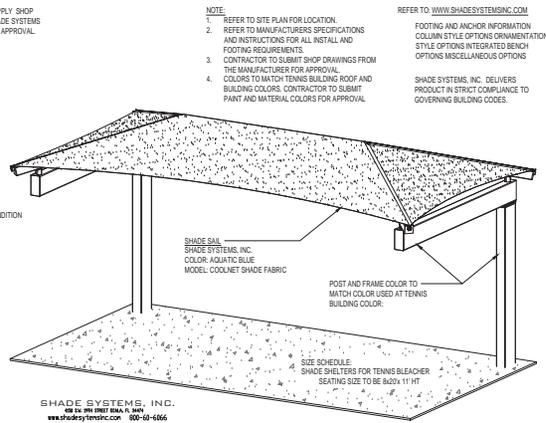
PRODUCT INFO:  
MANUFACTURER: BIKE FIXATION  
CONTACT: 612.568.3488  
WWW.BIKEFIXATION.COM  
MODEL INFO: ODLINE PUBLIC WORK STATION  
COLOR: ORANGE SURFACE MOUNT

CONTRACTOR TO SUBMIT CUT SHEET OF PRODUCT INFO AND COLOR SELECTION FOR APPROVAL.

9 BICYCLE REPAIR STATION  
DETAIL NTS

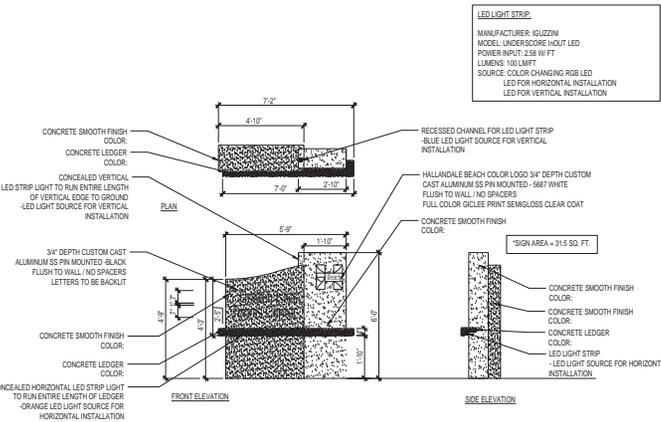


10 SHADE SHELTER AT TENNIS BLEACHERS  
DETAIL NTS



SHADE SYSTEMS, INC.  
408 22 194 STREET NW, SUITE 100  
WWW.SHADESYSTEMSINC.COM 601-611-6466

11 MONUMENT SIGN  
DETAIL NTS



LED LIGHT STRIP:  
MANUFACTURER: GUZZINI  
MODEL: UNDERSCORE HOULT LED  
POWER INPUT: 2.88 W/FT  
LUMENS: 100 LM/FT  
SOURCE: COLOR CHANGING RGB LED  
LED FOR HORIZONTAL INSTALLATION  
LED FOR VERTICAL INSTALLATION

NOTE:  
1. REFER TO SITE PLAN FOR LOCATION  
2. REFER TO MANUFACTURERS SPECIFICATIONS AND INSTRUCTIONS FOR ALL INSTALL AND FOOTING REQUIREMENTS  
3. CONTRACTOR TO SUBMIT SHOP DRAWINGS FROM THE MANUFACTURER FOR APPROVAL  
4. COLORS TO MATCH TENNIS BUILDING ROOF AND BUILDING COLORS. CONTRACTOR TO SUBMIT PAINT AND MATERIAL COLORS FOR APPROVAL

REFER TO WWW.SHADESYSTEMSINC.COM  
FOOTING AND ANCHOR INFORMATION  
COLUMN STYLE OPTIONS ORNAMENTATION  
STYLE OPTIONS INTEGRATED BENCH  
OPTIONS MISCELLANEOUS OPTIONS

SHADE SYSTEMS, INC. DELIVERS PRODUCT IN STRICT COMPLIANCE TO GOVERNING BUILDING CODES.

SUBMITTALS:

PHASE	DATE
DRC SUBMITTAL	04/11/2018
60% SUBMITTAL	05/29/2018
CM BID SET	07/06/2018
DRC RE-SUBMITTAL	08/01/2018
2ND RE-SUBMITTAL	11/08/2018
DRC RE-SUBMITTAL	03/15/2019

Revision Schedule

Revision #	Revision Description	Revision Date

PROJECT TEAM  
PROFESSIONAL LANDSCAPE ARCHITECT

CHRISTOPHER M. PHILLIPS  
REGISTRATION: LA-6667361  
NUMBER: LA-6667361

APPROVED BY: \_\_\_\_\_  
DESIGNED BY: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
Author: \_\_\_\_\_  
Checker: \_\_\_\_\_

GRAVEN + THOMPSON AND ASSOCIATES, INC.  
ENGINEERS + PLANNERS + SURVEYORS  
990 N.W. 20TH STREET, SUITE 1000, MIAMI, FL 33136  
TEL: 305.763.2200 FAX: 305.763.2201  
WWW.GRAVENANDTHOMPSON.COM

DESIGN CONSULTANT

GOLDEN ISLES TENNIS FACILITY

500 Egret Dr  
Hallandale Beach, FL 33009

CLIENT CODE/FIELD NUMBER:  
SUBMISSION NUMBER:

SITE PLAN DETAILS  
SHEET TITLE

ACAI  
associates, inc.  
architecture - engineering  
roofing - consulting  
construction management

AA001323 EB0004379 CGC010769  
2937 W. Cypress Creek Rd., Suite 210 B  
Ft. Lauderdale, FL 33309  
Tel: 954-484-4000 Fax: 954-484-5588  
www.acai.com

ARCHITECT OF RECORD

16-030 G01

PROJECT SHEET NUMBER  
SPD-2

TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE PLANS ARE COMPLETE AND COMPLY WITH THE APPLICABLE BUILDING CODES

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PHASE	DATE
DRC SUBMITTAL	04/11/2018
60% SUBMITTAL	05/29/2018
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DRC RE-SUBMITTAL	08/01/2018
2ND RE-SUBMITTAL	11/06/2018
DRC RE-SUBMITTAL	03/15/2019

Revision Schedule		
Revision #	Description	Revision Date

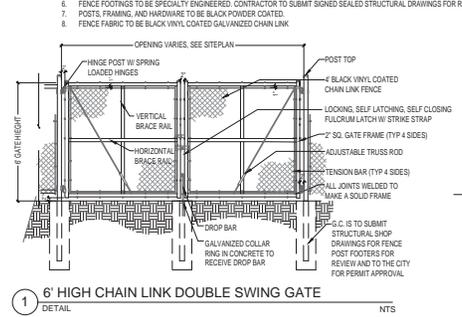
PROJECT TEAM  
PROFESSIONAL LANDSCAPE ARCHITECT

CHRISTOPHER M. PHILLIPS  
REGISTRATION NUMBER LA-6667361

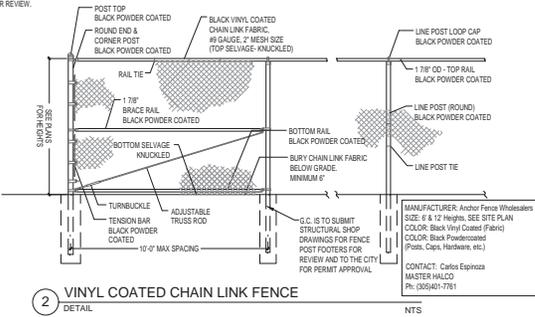
APPROVED BY  
DESIGNED BY  
DRAWN BY  
CHECKED BY

Author  
Checker

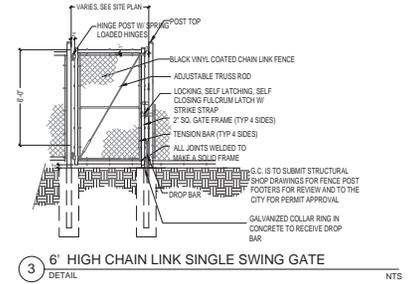
- FENCING NOTES:
- CONTRACTOR TO PROVIDE SHOP DRAWINGS
  - CONTRACTOR TO FIELD VERIFY DIMENSIONS.
  - TRUSS BARS ARE REQUIRED FOR THE FIRST SPAN ON EACH SIDE OF A CORNER POST.
  - MIDDLE BRACE BAR REQUIRED AS NECESSARY DEPENDING ON HEIGHT OF FENCE AND MANUFACTURER'S SPECIFICATIONS.
  - FOOTING WIDTH TO BE 6/8" POST WIDTH MINIMUM DEPTH 8"
  - FENCE FOOTINGS TO BE SPECIALLY ENGINEERED. CONTRACTOR TO SUBMIT SIGNED SEALED STRUCTURAL DRAWINGS FOR REVIEW.
  - POSTS, FRAMING, AND HARDWARE TO BE BLACK POWDER COATED.
  - FENCE FABRIC TO BE BLACK VINYL COATED GALVANIZED CHAIN LINK.



1 6' HIGH CHAIN LINK DOUBLE SWING GATE  
DETAIL NTS



2 VINYL COATED CHAIN LINK FENCE  
DETAIL NTS



3 6' HIGH CHAIN LINK SINGLE SWING GATE  
DETAIL NTS



NOTE: IMAGE FOR DOG PARK RULES ONLY. SIGNAGE TO BE PART OF THE SITE SIGNAGE AND WAYFINDING PACKAGE BY OTHERS.



DELUXE DOG WATERING STATION ITEM #7214

NOTES:

- INSTALL PER MANUFACTURER'S RECOMMENDATIONS
- SHALL HAVE AN AUTOMATIC SHUTOFF COMPONENT WITH PUSH SENSOR FOR HOSE OPERATION
- SEE PLUMBING DRAWINGS

MANUFACTURER: DOG ON-T PARKS  
WWW.DOG-ON-T-PARKS.COM  
1-877-348-3647

\*\*\*OR APPROVED EQUAL\*\*

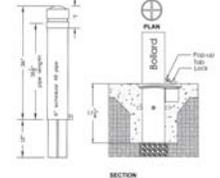
4 DOG PARK ENTRY AND RULES SIGNAGE  
SECTION NTS

5 DOG WATERING STATION  
PLAN NTS



SURFACE MOUNT INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS.

6 DOG WASTE STATION  
SECTION NTS

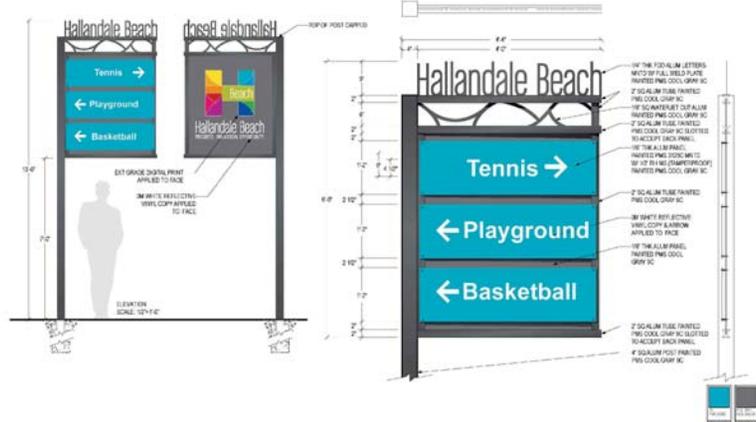


PRODUCT: PROVENANCE 30\"/>

7 REMOVEABLE BOLLARD  
SECTION NTS



8 WAYFINDING SIGNAGE TYPE 1  
SECTION NTS



9 WAYFINDING SIGNAGE TYPE II  
SECTION NTS



GRAVEN THOMPSON AND ASSOCIATES, INC.  
ENGINEERS • PLANNERS • SURVEYORS  
1900 N.W. 22ND STREET, SUITE 200, MIAMI, FL 33135  
TEL: 305-584-1000 FAX: 305-584-1001  
WWW.GRAVEN-THOMPSON.COM

DESIGN CONSULTANT

GOLDEN ISLES TENNIS FACILITY

500 Egrd Dr  
Hallandale Beach, FL 33009

CLIENT CODEFILE NUMBER:  
PROJECT ID - SUBMISSION NUMBER:

SITE PLAN DETAILS  
SHEET TITLE



ARCHITECT OF RECORD

16-030 G01

PROJECT NUMBER

SPD-3

TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE PLANS ARE COMPLETE AND COMPLY WITH THE APPLICABLE BUILDING CODES

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PHASE	DATE
DRC SUBMITTAL	04/11/2018
60% SUBMITTAL	05/29/2018
CM BID SET	07/06/2018
DRC RE-SUBMITTAL	08/10/2018
2ND RE-SUBMITTAL	11/06/2018
DRC RE-SUBMITTAL	03/15/2019

Revision Schedule		
Revision #	Description	Revision Date

PROJECT TEAM  
 PROFESSIONAL LANDSCAPE ARCHITECT

CHRISTOPHER M. PHILLIPS  
 REGISTRATION NUMBER LA-6667361

APPROVED BY  
 DESIGNED BY  
 Designer

DRAWN BY  
 Author

CHECKED BY  
 Checker



DESIGN CONSULTANT

GOLDEN ISLES TENNIS FACILITY

550 Egret Dr  
 Hallandale Beach, FL 33009

CLIENT CODE/FILE NUMBER:  
 NUMBER:

SITE PLAN DETAILS  
 SHEET TITLE



AAC001323 EB0004379 CGC010769  
 2397 W. Cypress Creek Rd., Suite 210  
 Ft. Lauderdale, FL 33309  
 Tel: 954-484-4000 Fax: 954-484-5588  
 www.acaiworld.com

ARCHITECT OF RECORD

16-030 G01

PROJECT NUMBER  
 SHEET NUMBER

SPD-4

TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE PLANS ARE COMPLETE AND COMPLY WITH THE APPLICABLE BUILDING CODES.

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**SPORTS FURNISHING SCHEDULE**

REF.	QTY.	SITE FURNISHING	MODEL #	SIZE	COLOR/FINISH	ADD. DESCRIPTION	MANUFACTURER	CONTACT INFORMATION	GENERAL INFORMATION	SCOPE: (RESPONSIBLE PARTIES)
1	1	FLAG POLE- COMMERCIAL GRADE	HURRICANE SERIES	30' EXPOSED HEIGHT	SATIN ALUMINUM	-CITY TO PROVIDE FLAGS -EMBEDDED MOUNT - SEE DETAIL- -EXTERNAL HALYARD	FLAG POLES ETC.	Flagpoles Etc., 888-735-5591, <a href="http://www.flagpolesetc.com">www.flagpolesetc.com</a>	-INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS -SHOP DRAWINGS REQUIRED PER WIND LOADING	GENERAL CONTRACTOR TO PROVIDE ITEMS, FOOTING, AND INSTALLATION.
2	10	TENNIS NET POST (PAIR)	SKU# 1234411	STD.	BLACK	INSTALL USING GROUND SLEEVE PER MANUFACTURERS RECOMMENDATION	ATHLETIC CONNECTION	Bruce Bates, Pro-Grounds Products Inc, 305-235-5101, <a href="mailto:pgp@progroundproducts.com">pgp@progroundproducts.com</a>	-INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS	GENERAL CONTRACTOR TO PROVIDE ITEM AND INSTALLATION.
3	10	TENNIS NET	SKU# 1182482	STD.	BLACK/WHITE	EDWARDS 40LS	ATHLETIC CONNECTION	Bruce Bates, Pro-Grounds Products Inc, 305-235-5101, <a href="mailto:pgp@progroundproducts.com">pgp@progroundproducts.com</a>	-PROVIDED TO CITY FOR SAFE STORAGE	GENERAL CONTRACTOR TO PROVIDE ITEM
4	20	BENCH -TENNIS COURTS	#25GL2-6	6'	STANDARD ALUMINUM	2 BENCHES PER COURT	KAY PARK RECREATION CORP.	KAY PARK RECREATION, 888-468-5869, <a href="http://www.kaypark.com">www.kaypark.com</a>		
5	6	BLEACHERS AT TENNIS VIEWING & SOCCER BALL	#BLRG3A15	15' LONG 3 ROW	STANDARD ALUMINUM	3 ROWS, LOW RISE -TRANSPORT OPTION - #JIFS1521	KAY PARK RECREATION CORP.	KAY PARK RECREATION, 888-468-5869, <a href="http://www.kaypark.com">www.kaypark.com</a>		GENERAL CONTRACTOR TO PROVIDE ITEM AND INSTALLATION.
6	4	BASKETBALL HOOP	BA871-8K ULTIMATE	42"x60"	BLACK	BA39U ULTIMATE GOAL	BISON	BSN SPORTS		GENERAL CONTRACTOR TO PROVIDE ITEM AND INSTALLATION.
7	1	WEST SIDE OF ALL TENNIS COURTS	#W1079608G	12' HIGH	BLACK	GROMMETS FOUR SIDES, 18" CAP. 8" BLACK SELF LOCKING WRAPS (#WMTTWRAPS)	ATHLETIC CONNECTION	Bruce Bates, Pro-Grounds Products Inc, 305-235-5101, <a href="mailto:pgp@progroundproducts.com">pgp@progroundproducts.com</a>	-INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS -INSTALL WINDSCREENS AT DUGOUT LOCATIONS	GENERAL CONTRACTOR TO PROVIDE ITEMS, ALL NECESSARY CONNECTIONS/ HARDWARE, AND INSTALLATION.

**SITE FURNISHING SCHEDULE**

REF.	QTY.	SITE FURNISHING	MODEL #	SIZE	COLOR/FINISH	ADD. DESCRIPTION	MANUFACTURER	CONTACT INFORMATION	GENERAL INFORMATION	SCOPE: (RESPONSIBLE PARTIES)
1	14	BENCH	NEGGEBG 59' BACKED BENCH	59' 1/2' LONG	SILVER POWDERCOAT	WITH CENTER ARM REST, CAST ALUMINUM SURFACE MOUNT	LANDSCAPE FORMS	Luis Salazar 1800-430-2806, <a href="http://landscapeforms.com">landscapeforms.com</a>	SURFACE MOUNT INSTALLATION ON CONCRETE PAD	GENERAL CONTRACTOR TO PROVIDE ITEM AND INSTALLATION.
3	4	TRASH BIN	BIG BELLY SOLAR	50 GAL SINGLE	STANDARD GRAY W/ HALLANDALE BEACH WRAP	GALV ANIZED SHEET METAL	BIG BELLY SOLAR	1-888-820-0300, <a href="http://www.bigbelly.com">www.bigbelly.com</a>	SURFACE MOUNT INSTALLATION	GENERAL CONTRACTOR TO PROVIDE ITEM AND INSTALLATION.
3	4	RECYCLE BIN	BIG BELLY SOLAR	50 GAL SINGLE	STANDARD GRAY W/ HALLANDALE BEACH WRAP	GALV ANIZED SHEET METAL	BIG BELLY SOLAR	1-888-820-0300, <a href="http://www.bigbelly.com">www.bigbelly.com</a>	SURFACE MOUNT INSTALLATION	GENERAL CONTRACTOR TO PROVIDE ITEM AND INSTALLATION.
4	2	BIKE RACK	COIL BIKE RACK #BRBC-8	60' LONG	SILVER POWDERCOAT	4 LOOP, HOLDS 8 BIKES -SURFACE MOUNT	BELSON	1-800-323-6664, <a href="http://www.belson.com">www.belson.com</a>	SURFACE MOUNT INSTALLATION	GENERAL CONTRACTOR TO PROVIDE ITEM AND INSTALLATION.
5	2	PICNIC TABLE	#T6672	72" LONG	CONCRETE TABLE WITH IPE SEAT	SB-6 FINISH	DOTY & SONS CONCRETE PRODUCTS, INC	Doty and Sons Concrete Products, Inc., 1275 E State St, Sycamore, IL 60178 Phone: (815) 895-2884	SURFACE MOUNT INSTALLATION ON CONCRETE PAD	GENERAL CONTRACTOR TO PROVIDE ITEM AND INSTALLATION.
6	2	PICNIC TABLE -ADA ACCESSIBLE	#T6684 -ADA	84" LONG	CONCRETE TABLE WITH IPE SEAT	SB-6 FINISH	DOTY & SONS CONCRETE PRODUCTS, INC	Doty and Sons Concrete Products, Inc., 1275 E State St, Sycamore, IL 60178 Phone: (815) 895-2884	SURFACE MOUNT INSTALLATION ON CONCRETE PAD	GENERAL CONTRACTOR TO PROVIDE ITEM AND INSTALLATION.
7	6	ROUND TABLE	LATITUDE BISTRO 2 SEAT	ROUND	SILVER POWDERCOAT	SURFACE MOUNT	ANOVA	Debbie Levine, Rep Services, 407-831-9658, <a href="http://www.rep-services.com">www.rep-services.com</a>	SURFACE MOUNT INSTALLATION ON CONCRETE PAD	GENERAL CONTRACTOR TO PROVIDE ITEM AND INSTALLATION.
8	2	WATER FOUNTAIN -ADA ACCESSIBLE	440 SMSS	30"	STAINLESS STEEL	INSTALLATION PER MANUFACTURER -MEETS ADA ACCESSIBILITY	MOST DEPENDABLE FOUNTAINS, INC.	Vince McGrey, 1800-552-6331, <a href="http://www.mostdependable.com">www.mostdependable.com</a>	-INSTALLATION AND FOOTINGS PER MANUFACTURER'S RECOMMENDATIONS	GENERAL CONTRACTOR TO PROVIDE ITEM, FOOTINGS AND INSTALLATION.
9	4	EMERGENCY CALL BOX	A1410- SOLAR 1967 #90N498A			INSTALLATION PER MANUFACTURER -MEETS ADA ACCESSIBILITY	CONNECTIVITY INC.	85.587.1414 WWW.CONNECTIVITYINC.COM	-INSTALLATION AND FOOTINGS PER MANUFACTURER'S RECOMMENDATIONS	GENERAL CONTRACTOR TO PROVIDE ITEM, FOOTINGS AND INSTALLATION.
10	2	DOG WATERING STATION	724		DELUXE DOG WATERING STATION		DOG ON IT PARKS	1-877-348-3647	-INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS	GENERAL CONTRACTOR TO PROVIDE ITEM AND INSTALLATION.
11	2	DOG WASTE STATION	#BARK 490		WASTE STATION AND BAG DISPENSER		ULTRA SITE		-INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS	GENERAL CONTRACTOR TO PROVIDE ITEM AND INSTALLATION.
12	4	TRASH RECEPTACLE AT TENNIS & DOG PARKS	89-32-FTO	32"	SILVER	-INCLUDE TRASH/ RECYCLE SPLIT INSERT AND LID	DUMOR	Debbie Levine, Rep Services, 407-831-9658, <a href="http://www.rep-services.com">www.rep-services.com</a>	SURFACE MOUNT INSTALLATION ON CONCRETE PADS	GENERAL CONTRACTOR TO PROVIDE ITEM AND INSTALLATION.
13	1	FLAG POLE -COMMERCIAL GRADE HURRICANE EXTERNAL HALYARD FLAGPOLES	ECH 30	30' EXPOSED HEIGHT	SATIN	MUST MEET HURRICANE WIND LOADS -CITY TO PROVIDE FLAGS -EMBEDDED MOUNT	FLAGPOLE WAREHOUSE	1800-962-0956, <a href="http://www.flagpolewarehouse.com">www.flagpolewarehouse.com</a>	-INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS -SHOP DRAWINGS REQUIRED PER WIND LOADING	GENERAL CONTRACTOR TO PROVIDE FURNITURE, MOUNTING HARDWARE, FOOTING AND INSTALLATION.

SYMBOL LEGEND:  
 \* OR APPROVED EQUAL  
 † BENCHES LOCATED IN AREAS OF SOOPLANTING SHALL RECEIVE CONCRETE FOOTINGS CONSISTENT WITH MANUFACTURER RECOMMENDATIONS.

PHASE	DATE
DRC SUBMITTAL	04/17/2018
60% SUBMITTAL	05/29/2018
CM BID SET	07/06/2018
DRC RE-SUBMITTAL	08/10/2018
2ND RE-SUBMITTAL	11/08/2018
DRC RE-SUBMITTAL	03/15/2019

Revision Schedule		
Revision #	Description	Revision Date

PROJECT TEAM  
 PROFESSIONAL LANDSCAPE ARCHITECT  
 CHRISTOPHER M. PHILLIPS  
 REGISTRATION NUMBER LA-6867361  
 APPROVED BY  
 DESIGNED BY  
 Designer  
 DRAWN BY  
 Author  
 CHECKED BY  
 Checker



DESIGN CONSULTANT  
 GOLDEN ISLES TENNIS FACILITY  
 500 Egret Dr  
 Hallandale Beach, FL 33009

CLIENT CODE/FILE NUMBER:  
 PROJECT ID - SUBMISSION NUMBERS:

TREE DISPOSITION PLANS  
 SHEET TITLE

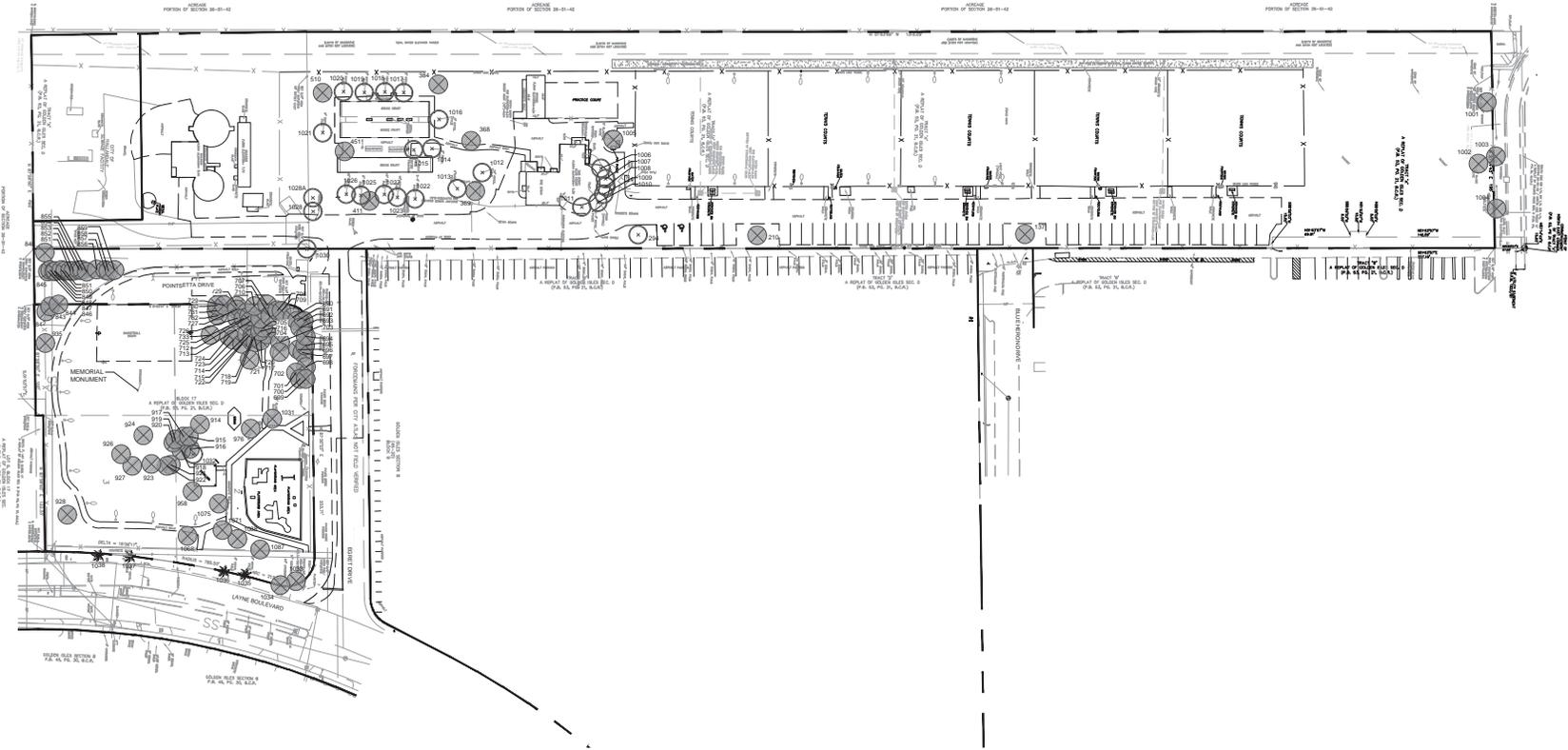


AC001323 EB0004379 CGC010769  
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ARCHITECT OF RECORD  
**16-030 G01**

PROJECT NUMBER  
**TD-1**

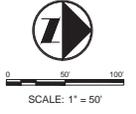
TO THE BEST OF MY KNOWLEDGE  
 AND ABILITY THESE PLANS ARE  
 COMPLETE AND COMPLY WITH THE  
 APPLICABLE BUILDING CODES  
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- NOTE:
- CONTRACTOR TO COORDINATE WITH CITY GAS DEPARTMENT TO HAVE A GAS PERSONNEL STANDBY DURING ANY EXCAVATION WITHIN THE VICINITY OF GAS LINES.
  - USE EXTREME CAUTION AND BEST PRACTICES FOR REMOVING STUMPS OF ANY EXISTING TREES WITHIN PROXIMITY OF EXISTING UTILITY LINES.
  - CONTRACTOR TO PROVIDE TREE PROTECTION BARRICADE FOR ANY TREE WITHIN CONSTRUCTION AREA. SEE DETAIL SHEET TD-105.
  - SEE SHEET TD-105 FOR TREE PROTECTION AND RELOCATION NOTES.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EXISTING TREES WITHIN WORK SITE BOUNDARIES AND WILL NEED TO REPLACE WITH LIKE OR BETTER CONDITION FOR ANY DAMAGED TREES.

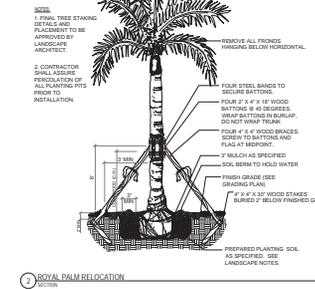
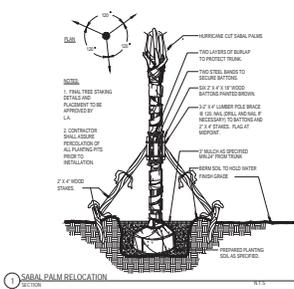
LEGEND	
	#### TREE/PALM TO BE RELOCATED
	#### TREE/PALM TO BE REMOVED
	#### EXISTING TREE/PALMS TO BE PROTECTED IN PLACE

TREE MITIGATION STATEMENT:  
 THE EXISTING TREE COVER ON THE SITE IS PRIMARILY NUISANCE/NAISIVE SPECIES SUCH AS AUSTRALIAN PINE AND BLACK OLIVE WHICH WILL BE REMOVED AS PART OF THE RE-DESIGN OF THE TWO PROPERTIES INTO ONE CONTIGUOUS PARK. WE WILL RELOCATE AS MANY PALMS AS ARE IN CONDITION SUITABLE FOR RE-USE. THERE IS ONE OAK TREE THAT IS OF QUALITY AND CONDITION TO RELOCATE AND THAT TREE WILL BE RELOCATED ONTO THE SITE. THESE MEASURES SHOULD MINIMIZE ANY NEGATIVE IMPACTS ON THE SITE AND WE FEEL WILL IMPROVE THE SITE AND INCREASE THE POSITIVE EFFECTS OF THE NEWLY INSTALLED VEGETATION.



TREE NO.	BOTANICAL NAME	COMMON NAME	CALIPER (IN.)	CANOPY (DIA.)	CANOPY (SF)	HEIGHT O.A. (FT.)	PALM HT. (FT.)	PALM HEIGHT (GW, CT)	CONDITION	DISPOSITION	NOTES
137	BUCCIDA BUCERAS	BLACK OLIVE	15						POOR	REMOVE	
240	BUCCIDA BUCERAS	BLACK OLIVE	18						POOR	REMOVE	
294	QUERCUS VIRGINIANA	oak	8						GOOD	RELOCATE	
368	SWEETENIA MAHAGONI	MAHAGONY	26						GOOD	REMOVE	
369	TABERBUA HETEROPHYLLA	TABERBUA	10	40					GOOD	REMOVE	
384	UNKNOWN	UNKNOWN	8						POOR	REMOVE	
411	BUCCIDA BUCERAS	BLACK OLIVE	12						GOOD	REMOVE	
451	UNKNOWN	UNKNOWN	3	15					GOOD	REMOVE	
510	UNKNOWN	UNKNOWN	6						GOOD	REMOVE	
515	MISSING	MISSING	6						GOOD	REMOVE	
690	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	10						GOOD	REMOVE	
691	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	10						GOOD	REMOVE	
692	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	6.8 & 8						GOOD	REMOVE	
693	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	10						GOOD	REMOVE	
694	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	10						GOOD	REMOVE	
695	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	6						GOOD	REMOVE	
696	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	6						GOOD	REMOVE	
697	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	6.8 & 6						GOOD	REMOVE	
698	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	6						GOOD	REMOVE	
699	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	10						GOOD	REMOVE	
700	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	15						GOOD	REMOVE	
701	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	24						GOOD	REMOVE	
702	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	15						GOOD	REMOVE	
703	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	15						GOOD	REMOVE	
704	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	8						GOOD	REMOVE	
705	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	10						GOOD	REMOVE	
706	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	6						GOOD	REMOVE	
707	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	12						GOOD	REMOVE	
708	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	15						GOOD	REMOVE	
709	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	8						GOOD	REMOVE	
710	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	12						GOOD	REMOVE	
711	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	24						GOOD	REMOVE	
712	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	4						GOOD	REMOVE	
713	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	24						GOOD	REMOVE	
714	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	12						GOOD	REMOVE	
715	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	6						GOOD	REMOVE	
716	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	10						GOOD	REMOVE	
717	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	3						GOOD	REMOVE	
718	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	8						GOOD	REMOVE	
719	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	18						GOOD	REMOVE	
720	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	15						GOOD	REMOVE	
721	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	24						GOOD	REMOVE	
722	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	18						GOOD	REMOVE	
723	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	36.2						GOOD	REMOVE	
724	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	15						GOOD	REMOVE	
725	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	15						GOOD	REMOVE	
726	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	18						GOOD	REMOVE	
727	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	12						GOOD	REMOVE	
728	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	10						GOOD	REMOVE	
729	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	15.8 & 15						GOOD	REMOVE	
730	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	24						GOOD	REMOVE	
731	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	8						GOOD	REMOVE	
732	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	15						GOOD	REMOVE	
733	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	24						GOOD	REMOVE	
832	PODOCARPUS MARCOPHILLUS	PODOCARPUS	6	15					GOOD	REMOVE	
833	COCCOLOBA DIVERSIFOLIA	PIGEON PALM	8	25					GOOD	REMOVE	
834	COCCOLOBA DIVERSIFOLIA	PIGEON PALM	8	25					GOOD	REMOVE	DOUBLE TRUNK
835	COCCOLOBA DIVERSIFOLIA	PIGEON PALM	8	12					GOOD	REMOVE	
836	COCCOLOBA DIVERSIFOLIA	PIGEON PALM	8	12					GOOD	REMOVE	
840	UNKNOWN	UNKNOWN	4						GOOD	REMOVE	
842	SCHEFFERA ARBICOLA	SCHIFFER	8	25					GOOD	REMOVE	
843	FICUS AUREA	BAYLAN	15	35					GOOD	REMOVE	LOPSIDED
844	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	18						GOOD	REMOVE	
845	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	10						GOOD	REMOVE	
846	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	24						GOOD	REMOVE	
847	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	18						GOOD	REMOVE	
848	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	24						GOOD	REMOVE	
849	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	18						GOOD	REMOVE	
850	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	15						GOOD	REMOVE	
851	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	10						GOOD	REMOVE	
852	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	10						GOOD	REMOVE	
853	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	10						GOOD	REMOVE	

TREE NO.	BOTANICAL NAME	COMMON NAME	CALIPER (IN.)	CANOPY (DIA.)	CANOPY (SF)	HEIGHT O.A. (FT.)	PALM HT. (FT.)	PALM HEIGHT (GW, CT)	CONDITION	DISPOSITION	NOTES
854	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	8						GOOD	REMOVE	
855	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	12						GOOD	REMOVE	
856	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	15						GOOD	REMOVE	
857	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	10						GOOD	REMOVE	
858	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	24						GOOD	REMOVE	
859	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	36						GOOD	REMOVE	
914	UNKNOWN	UNKNOWN	8	22					GOOD	REMOVE	
915	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	15						GOOD	REMOVE	
916	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	15						GOOD	REMOVE	
917	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	24						GOOD	REMOVE	
918	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	15						GOOD	REMOVE	
919	QUERCUS VIRGINIANA	oak	6						POOR	REMOVE	CROWDED
920	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	18						GOOD	REMOVE	
921	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	24						GOOD	REMOVE	
922	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	12						GOOD	REMOVE	
923	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	20						GOOD	REMOVE	
924	FICUS AUREA	FICUS	15						POOR	REMOVE	
925	UNKNOWN	UNKNOWN	12						GOOD	REMOVE	
926	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	30						GOOD	REMOVE	
927	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	15 & 15						GOOD	REMOVE	
928	FICUS AUREA	FICUS	24						GOOD	REMOVE	
929	QUERCUS VIRGINIANA	oak	8						GOOD	REMAIN	GONE
930	FICUS AUREA	FICUS	12						GOOD	REMAIN	GONE
931	FICUS AUREA	FICUS	8						GOOD	REMAIN	GONE
932	FICUS AUREA	FICUS	6						GOOD	REMAIN	GONE
933	FICUS AUREA	FICUS	10						GOOD	REMAIN	GONE
934	FICUS AUREA	FICUS	24						REMAIN	GONE	
935	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	24						POOR	REMOVE	
938	UNKNOWN	UNKNOWN	8						POOR	REMOVE	
976	BUCCIDA BUCERAS	BLACK OLIVE	24						GOOD	REMOVE	
1001	MANGIFERA INDICA	MANGO	10	20					20	GOOD	REMOVE
1002	MANGIFERA INDICA	MANGO	10	25					25	FAIR	REMOVE
1003	MANGIFERA INDICA	MANGO	2	8					8	FAIR	REMOVE
1004	MANGIFERA INDICA	MANGO	10	25					25	FAIR	REMOVE
1005	BUCCIDA BUCERAS	BLACK OLIVE	20	30					30	GOOD	REMOVE
1006	ADONIDIA MERRILLII	CHRISTMAS PALM	1.5				3		3	FAIR	REMOVE
1007	ADONIDIA MERRILLII	CHRISTMAS PALM	5				14		14	GOOD	RELOCATE
1008	ADONIDIA MERRILLII	CHRISTMAS PALM	4				20		20	GOOD	RELOCATE
1009	ADONIDIA MERRILLII	CHRISTMAS PALM	5				18		18	GOOD	RELOCATE
1010	ADONIDIA MERRILLII	CHRISTMAS PALM	6				12		12	GOOD	RELOCATE
1011	ADONIDIA MERRILLII	CHRISTMAS PALM	5				14		14	GOOD	RELOCATE
1012	ROYSTONIA ELATA	ROYAL PALM	15				28		28	GOOD	RELOCATE
1013	SABAL PALMETTO	SABAL PALM	6				16		16	FAIR	RELOCATE
1014	WODYETIA BIFURCATA	FOXTAIL PALM	7				28		28	GOOD	RELOCATE
1015	WODYETIA BIFURCATA	FOXTAIL PALM	8				28		28	GOOD	RELOCATE
1016	WODYETIA BIFURCATA	FOXTAIL PALM	9				33		33	GOOD	RELOCATE
1017	ROYSTONIA ELATA	ROYAL PALM	18				35		35	GOOD	RELOCATE
1018	ROYSTONIA ELATA	ROYAL PALM	18				30		30	GOOD	RELOCATE
1019	ROYSTONIA ELATA	ROYAL PALM	15				45		45	GOOD	RELOCATE
1020	ROYSTONIA ELATA	ROYAL PALM	12				40		40	GOOD	RELOCATE
1021	WODYETIA BIFURCATA	FOXTAIL PALM	12				40		40	GOOD	RELOCATE
1022	ADONIDIA MERRILLII	CHRISTMAS PALM	4				4		4	FAIR	RELOCATE
1023	ADONIDIA MERRILLII	CHRISTMAS PALM	4				15		15	GOOD	RELOCATE
1024	ROYSTONIA ELATA	ROYAL PALM	12				35		35	GOOD	RELOCATE
1025	ROYSTONIA ELATA	ROYAL PALM	12				40		40	GOOD	RELOCATE
1026	SABAL PALMETTO	SABAL PALM	7				25		25	FAIR	RELOCATE
1027	ROYSTONIA ELATA	ROYAL PALM	12				35		35	GOOD	RELOCATE
1028	SABAL PALMETTO	SABAL PALM	14				25		25	FAIR	RELOCATE
1028A	WODYETIA BIFURCATA	FOXTAIL PALM	12				30		30	GOOD	RELOCATE
1030	SABAL PALMETTO	SABAL PALM	12				23		23	GOOD	RELOCATE
1031	BUCCIDA BUCERAS	BLACK OLIVE	10				10		10	GOOD	REMOVE
1032	SABAL PALMETTO	SABAL PALM	12				12		12	GOOD	RELOCATE
1033	CONOCARPUS ERECTUS SERICEUS	SILVER BUTTWOOD	12				15		15	POOR	REMOVE
1034	CONOCARPUS ERECTUS SERICEUS	SILVER BUTTWOOD	10				20		20	POOR	REMOVE
1035	WODYETIA BIFURCATA	FOXTAIL PALM	10				30		30	FAIR	REMAIN
1036	WODYETIA BIFURCATA	FOXTAIL PALM	12				27		27	FAIR	REMAIN
1037	WODYETIA BIFURCATA	FOXTAIL PALM	10				40		40	FAIR	REMAIN
1038	WODYETIA BIFURCATA	FOXTAIL PALM	12				40		40	FAIR	REMAIN
1068	FICUS AUREA	FICUS	24				24		24	POOR	REMOVE
1069	FICUS AUREA	FICUS	8							MISSING	
1071	BUCCIDA BUCERAS	BLACK OLIVE	8							FAIR	REMOVE
1075	BUCCIDA BUCERAS	BLACK OLIVE	15							FAIR	REMOVE
1087	UNKNOWN	UNKNOWN	10							FAIR	REMOVE
1088	BUCCIDA BUCERAS	BLACK OLIVE	15							POOR	REMOVE



**GENERAL**

Tree relocation work shall be performed in compliance with the CONTRACTOR'S progress, schedule as approved by the CITY. However, relocation work shall start no sooner than the beginning of the construction contract and shall be completed by the completion date of the contract. No relocation work shall start before the date approved nor continue without the knowledge of the CITY.

**REFERENCES**

- A. Where referenced standards conflict with other specified requirements, the more restrictive or stringent requirements shall govern. Comply with applicable requirements of the following standards:
  1. American National Standards Institute (ANSI): Z60.1 American National Standards for Nursery Stock (Sponsor: American Association of Nurserymen, Inc.).
  2. National Arborist Association, -537 Stratford Rd., Wantagh, NY 11793 (NAA): Ref. 1 Transplanting of Trees and Shrubs in the Southeastern United States.
  3. Florida Department of Agriculture and Consumer Services: Grades and Standards for Nursery Plants.

**DESCRIPTION**

- A. Plant materials to be relocated on site are indicated on the Drawings. Those not shown will be relocated as directed by the CITY.
- B. The person (foreman or superintendent) in charge of and responsible for the CONTRACTOR'S tree relocation crews shall have a minimum 10 years experience in transplanting of plant materials, shall be recognized by the American Association of Nurserymen, be an ISA Certified Arborist, and be a licensed "Tree Trimmer" in Broward County.
- C. Existing trees to remain shall be protected during all construction phases. Protective barriers shall be provided and built to FDOT #544 specifications for those existing trees adjacent to construction operations. Replacement of any trees that are damaged or destroyed due to the CONTRACTOR'S operations shall be the CONTRACTOR'S responsibility and shall be replaced at the CONTRACTOR'S expense. Any existing tree that dies within one year after final acceptance shall be replaced with a number of trees of the same species to equal the caliper DBH of the existing tree lost. Replacement trees shall be Florida No. 1 and have a caliper DBH of no smaller than 3".
- D. Remove other vegetation as necessary and as directed by the LANDSCAPE ARCHITECT to accommodate new plantings.
- E. Tree pits or holes remaining after relocation of plant material shall be backfilled with clean fill and brought back flush with surrounding grade, unless the pits are to be immediately replanted. Pits that are to be quickly replanted shall be surrounded by safety barricades to prevent accidental falls into pits. In areas where new plant material will replace relocated plant material, appropriate soil mix shall be used as backfill.

**QUALITY ASSURANCE**

- A. Unless otherwise specified herein, tree transplanting shall conform to National Arborist Association, Ref. 1.
- B. CONTRACTOR shall comply with National Arborist Association standards for pruning and shall remove branches from trees that are to remain as necessary to clear new construction.
- C. CONTRACTOR shall recommend procedures to compensate for loss of roots (if any) and shall perform initial pruning of branches and stimulation of root growth where removed to accommodate new construction.
- D. Tree repair work shall be performed for damage incurred by construction by an ISA Certified Arborist.
- E. Routine progress evaluation reports shall be provided on relocated trees until the end of the maintenance period.
- F. Evaluate existing trees prior to transplanting and verify that trees are free from disease and sufficiently strong to survive relocation from the site to their new location. Notify the LANDSCAPE ARCHITECT in writing of any trees that the CONTRACTOR considers insufficiently strong to survive relocation.

**SUBMITTAL**

- A. CONTRACTOR shall submit for approval by OWNER a list of equipment, procedures, and labor force anticipated for use in tree relocation. CONTRACTOR shall include start date, completion date, and schedule of relocation as part of the approved progress schedule and, in addition, shall submit a more detailed daily schedule for the transplanting period, showing the schedule for root pruning and the number of units to be dug and relocated to specified areas.  
For those materials that require root pruning, the relocation schedule will begin at the end of the specified root pruning period.
- C. CONTRACTOR shall apply for and pay all costs associated with tree removal/relocation permits. The permit shall be obtained from the CITY.
- D. Prior to start of relocation work, the CONTRACTOR shall submit for approval details of the tree protection system to be utilized. All trees indicated to remain during construction shall be protected in accordance with recognized standards of the industry and protection shall be removed once construction is complete. CONTRACTOR shall also certify that where damage occurred, trees were promptly and properly treated, and shall indicate which damaged trees (if any) are incapable of retaining full growth potential and are recommended to be replaced.
- E. The CONTRACTOR, in order to guarantee his work, may use methods, sequence and schedule for effecting tree relocations and plant protection methods different from what is described in these specifications. However, if different, the CONTRACTOR must submit for approval a full description of all proposed methods, sequence of events and schedule for effecting tree relocations and plant protection.
- F. CONTRACTOR shall coordinate tree relocation with road construction and other related operations and such coordination shall be clearly evidenced in the schedule submittal.
- G. CONTRACTOR must submit procedures to be utilized for maintenance of all relocated trees.

**GUARANTEE**

- A. Relocated plant material shall fall under the standard 12 month guarantee.
- B. Damage to other plants, lawn or construction work occurring within the work area during tree relocation shall be repaired at no cost to the CITY. This also includes, but is not limited to, damage of curbs, walks, roads, fences, site furnishings, etc. Replacing and replanting of damaged trees, shrubs or turf shall be performed in accordance with this specification.
- C. Existing tree canopy shall not have more than 25% loss after relocation procedures are completed. CONTRACTOR shall be responsible for replacing any canopy loss due to lack of care and/or inadequate methods of transplanting the trees and palms that would cause the death of said plant material. Any transplanted tree that dies within one year after final acceptance shall be replaced with a number of trees of the same species to equal the caliper DBH of the transplanted tree lost. Replacement trees shall be Florida No. 1 having a caliper DBH no smaller than 3". Replacement shall be the CONTRACTOR'S responsibility.

**TRANSPLANTING - GENERAL**

- A. Transplanting shall consist of on-site transplanting of existing trees. Trees shall be transplanted only once from existing location to permanent positions as shown on Drawings.
- B. Digging, Wrapping and Handling: Plants shall be dug and prepared for moving in a manner that will not cause damage to branches, shape, root system, and development.
- C. Balled and Burlapped Plants: Balls shall be firmly wrapped with burlap or approved cloth substitute. No balled plant will be acceptable if the ball is cracked and broken, or if the stem or trunk is loose in the ball, either before or during transplanting. Balled plants shall be lifted and handled from the bottom of the ball, properly protected and delivered to the replanting site, to be planted immediately and watered thoroughly. Ball sizes shall be as recommended in ANSI Z60.1

**TAGGING**

- A. Trees within the designated areas for relocation shall be clearly marked by means of yellow plastic surveyors' ribbons and coordinated with the LANDSCAPE ARCHITECT and CITY prior to root pruning and/or digging.

**ROOT PREPARATION**

- A. Trees to be relocated shall be root pruned at least 60 days prior to digging with clean, sharp equipment. The specific requirements for root ball size shall be in accordance with the table below. CONTRACTOR shall maintain root pruned materials by watering, weeding, mowing, spraying, fertilizing, and other horticulture practices. After root pruning, backfill with good rooting medium, fertilize with organic fertilizer to promote root growth, which to reduce weeds, discourage foot traffic and its compacting effect, conserve moisture and minimize temperature fluctuation.
- B. Root Ball Size Chart: Root ball sizes shall be in accordance with minimum standards set forth in Grades and Standards for Nursery Plants Part 11, Palms and Trees, Florida Department of Agriculture, as follows:
 

1. Caliper	Minimum Ball Diameter
3 1/2 - 4:	28"
4 - 4 1/2"	30"
4 1/2 - 5"	32"
5 - 5 1/2"	34"
Larger Sizes	Increase proportionally
2. Ball Diameter	Medium Ball Diameter
Less than 20"	Not less than 75% of diameter
20" to 30"	Not less than 65% of diameter
30" to 48"	Not less than 60% of diameter

**CROWN PREPARATION**

- A. Shade Trees:
  1. Shade Trees: Selectively prune and thin crown to remove approximately one third of the branches. In so doing, preserve the basic shape and form of the tree, eliminate cross branching and dead or diseased branches.
  2. Hand strip selected species of all leaves following pruning and prior to moving.

**HAND DIGGING**

- A. Burlapping will be required. Trees that are burlapped for relocation shall comply with and be handled in same manner as new plant material specified in Section 02900-Landscape Work.

**HANDLING AND TRANSPORTATION**

- A. Trees shall be properly handled during moving so trunks will not be scarred or damaged and to avoid broken limbs. Broken limbs which do not cause the tree to be rejected shall be repaired under the following guidelines:
  1. Properly prune dead, dying, or damaged branches with clean, sharp equipment.
  2. Remove injured bark and wood of a tree with a clean, sharp knife to a point where healthy bark and wood make contact at their margins.
  3. Inspect and treat wound for insect and disease.
  4. Seal wounds with bituminous base wound paint for all limbs greater than 3" diameter.
- B. Transport trees on vehicles of adequate size to prevent overcrowding, broken limbs, foliage damage or root ball damage.
- C. Root ball should be kept moist during all phases of relocation.
- D. Tree crowns shall be protected with shade cloth to prevent desiccation and wind burn. Crowns shall be periodically sprayed with water to help ensure against desiccation.
- E. Plant material shall be handled only in ways and means accepted by the industry and acceptable to the LANDSCAPE ARCHITECT.
- F. Plant material shall be planted the same day it is dug. Preparation of planting pits or beds shall be coordinated to ensure this schedule.

**PLANTING**

- A. Relocated Material
  1. Relocated trees shall be planted according to procedures described for new material, Section 02900-Landscape Work. Verify that final grades have been established prior to planting operations. Ensure that proposed planting pits drain by test filling with water prior to transplantation.
  5. CONTRACTOR shall continue watering and caring for relocated material as described in paragraph 3.09.
  6. Mulch tree pit areas to reduce weeds, discourage foot traffic and its compacting effect, conserve moisture and minimize temperature fluctuations.
  7. Brace trunk and leave in place until trees/palms are wind firm. (1± year)
  8. Wrap trunks and structural branches of thin barked trees to protect against sun scald and dehydration. Retain through at least one growing season, and through cold season.
  9. Feed with a diluted solution of N\_P\_K in solution form with a soil needle, providing water, air, and nutrients.
  10. Where foliage is retarded, spray with one of the soluble types of foliage feeders.
  11. At time of planting, use soil needles for watering new transplant to fill air pockets and to keep roots (especially feeder roots) moist, live, and healthy. Direct fine spray at foliage to help harden off new leaves.

**STAKING AND GUYING**

Designated material shall be staked and guyed according to planting details.

**WATERING**

- A. CONTRACTOR shall be responsible for the manual watering of relocated plant materials for 90 days. If utilized, all temporary watering system installations shall be completely removed by the CONTRACTOR after the watering period.
- B. Following transplanting, CONTRACTOR shall water trees daily for the first two weeks, every other day for the next two weeks. Soaking then shall continue on a twice weekly basis for another period of eight (8) weeks. Such watering shall thoroughly saturate the root ball to its full depth and is in addition to the underground irrigation system.

**MAINTENANCE**

- A. All relocated plant materials shall be maintained immediately after each item is planted and continued until 90 day watering period is completed or until final acceptance whichever is latest, at which time the Property Owner, will assume responsibility for maintenance of the landscaping materials, following the procedures and recommendations of the CONTRACTOR.
- B. During this maintenance period, all relocated plant materials shall be maintained in accordance with the procedures described in Section 02900-Landscape Work.

**CLEAN UP**

- A. Upon completion of the work, the CONTRACTOR shall thoroughly clean the landscaped area, removing all equipment, unused materials, rubbish and surplus excavated material, and shall fine grade all disturbed areas, including areas adjacent to the transplanted materials, to provide a neat and uniform site. All damaged or altered existing structures, as a result of the landscape work, shall be corrected.

**SUBMITTALS:**

PHASE	DATE
DRC SUBMITTAL	04/11/2018
60% SUBMITTAL	05/29/2018
CM BID SET	07/06/2018
DRC RE-SUBMITTAL	08/10/2018
2ND RE-SUBMITTAL	11/08/2018
DRC RE-SUBMITTAL	03/15/2019

**Revision Schedule**

Revision #	Description	Revision Date

**PROJECT TEAM**  
PROFESSIONAL LANDSCAPE ARCHITECT

CHRISTOPHER M. PHILLIPS  
REGISTRATION NUMBER LA-6867361

APPROVED BY  
DESIGNED BY  
Designer

DRAWN BY  
Author  
CHECKED BY  
Checker

GRAVEN THOMPSON AND ASSOCIATES, INC.  
ENGINEERS • PLANNERS • SURVEYORS  
900 N.W. 2ND STREET, SUITE 1000, MIAMI, FL 33136  
TEL: 305-375-2200 FAX: 305-375-2201  
WWW.GRAVEN-THOMPSON.COM

**DESIGN CONSULTANT**

GOLDEN ISLES TENNIS FACILITY

500 Egret Dr  
Hallandale Beach, FL 33009

CLIENT CODE/FILE NUMBER:  
PROJECT ID - SUBMISSION NUMBER:

**TREE DISPOSITION NOTES**

SHEET TITLE

ASSOCIATES, INC.  
ARCHITECTURE • ENGINEERING  
ROOFING • CONSULTING  
CONSTRUCTION-MANAGEMENT

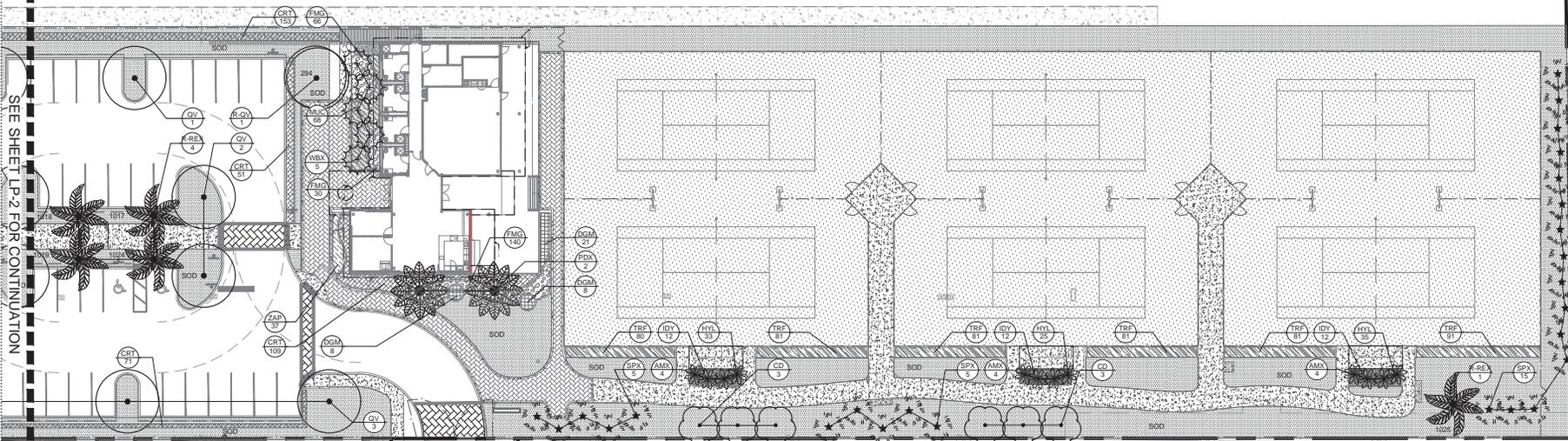
AAC001323 EB0004379 CGC010769  
2197 W. Cypress Creek Rd., Suite 210  
Fort Lauderdale, FL 33309  
Tel: 954-484-4000 Fax: 954-484-5588  
WWW.ACAI-FL.COM

**16-030 G01**

**TD-3**

TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE PLANS ARE COMPLETE AND COMPLY WITH THE APPLICABLE BUILDING CODES

SEE SHEET LP-2 FOR CONTINUATION



PLANT SCHEDULE		
TREES	CODE	COMMON NAME
	BS	Gumbo Limbo
	BS-S	Gumbo Limbo
	CD	Pigeon Plum
	CO	Buttonwood
	DR	Royal Poinciana
	IC	Dahoon Holly
	LL	Wild Tamarind
	QV	Southern Live Oak
	TA	Pink Trumpet Tree
	TD	Bald Cypress
PALM TREES	CODE	COMMON NAME
	AMX	Christmas Palm
	CNX	Coconut Palm
	PDX	Date Palm
	REX	Florida Royal Palm
	SPX	Cabbage Palmetto
	VMX	Montgomery Palm
	WBX	Foxtail Palm

NOTES:  
 1. REFER TO LPD-1 FOR COMPLETE PLANT SCHEDULE (SIZE & SPACING INFORMATION)  
 2. ALL SOD TO BE ST. AUGUSTINE UNLESS NOTED ON PLAN.

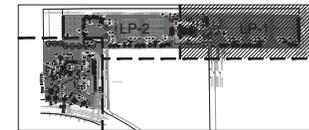
RELOCATE	CODE	COMMON NAME
	R-AC	Christmas Palm
	R-QV	Southern Live Oak
	R-REX	Florida Royal Palm
	R-SPX	Cabbage Palmetto
	R-WB	Foxtail Palm
SHRUB AREAS	CODE	COMMON NAME
	AI	Imperial Bromeliad
	CRT	Red Tip Cocopalm
	DSM	Gold Mound Duranta
	ERL	Golden Creeper
	FMG	Green Island Ficus
	HAP	Dwarf Scarlet Bush
	HYL	Spider Lily
	IVN	Dwarf Yaupon
	IDY	Dwarf Thai Yellow Isora
	JAV	Wax Jasmine
	MUC	Pink Muhly
	NEA	Sword Fern
	PSN	Wild Coffee
	TDN	Dwarf Fakahatchee Grass
	TRF	Florida Gamagrass
	ZAP	Coontie
GROUND COVERS	CODE	COMMON NAME
	TURF	Bermuda Grass 'Celebration'
	SOD	St. Augustine Grass

Tree No.	Botanical Name	Common Name	Caliper (in.)	Canopy (Dia.)	Canopy (SF)	Height (D.A. Ft.)	Palm Ht. (Ft.)	Palm Height (GW, CT)	Condition	Disposition
294	QUERCUS VIRGINIANA	OAK	8						GOOD	RELOCATE
1007	ADONIDIA MERRILLII	CHRISTMAS PALM	5			14			GOOD	RELOCATE
1008	ADONIDIA MERRILLII	CHRISTMAS PALM	4			20			GOOD	RELOCATE
1009	ADONIDIA MERRILLII	CHRISTMAS PALM	5			18			GOOD	RELOCATE
1010	ADONIDIA MERRILLII	CHRISTMAS PALM	6			12			GOOD	RELOCATE
1011	ADONIDIA MERRILLII	CHRISTMAS PALM	5			14			GOOD	RELOCATE
1012	ROYSTONIA ELATA	ROYAL PALM	15			28			GOOD	RELOCATE
1013	SABAL PALMETTO	SABAL PALM	6			16			FAIR	RELOCATE
1014	WOODYETIA BIFURCATA	FOXTAIL PALM	7			28			GOOD	RELOCATE
1015	WOODYETIA BIFURCATA	FOXTAIL PALM	8			28			GOOD	RELOCATE
1016	WOODYETIA BIFURCATA	FOXTAIL PALM	9			33			GOOD	RELOCATE
1017	ROYSTONIA ELATA	ROYAL PALM	18			35			GOOD	RELOCATE
1018	ROYSTONIA ELATA	ROYAL PALM	18			30			GOOD	RELOCATE
1019	ROYSTONIA ELATA	ROYAL PALM	15			45			GOOD	RELOCATE
1020	ROYSTONIA ELATA	ROYAL PALM	12			40			GOOD	RELOCATE
1021	WOODYETIA BIFURCATA	FOXTAIL PALM	12			40			GOOD	RELOCATE
1022	ADONIDIA MERRILLII	CHRISTMAS PALM	4			12			FAIR	RELOCATE
1023	ADONIDIA MERRILLII	CHRISTMAS PALM	4			15			GOOD	RELOCATE
1024	ROYSTONIA ELATA	ROYAL PALM	12			35			GOOD	RELOCATE
1025	ROYSTONIA ELATA	ROYAL PALM	12			40			GOOD	RELOCATE
1026	SABAL PALMETTO	SABAL PALM	7			35			FAIR	RELOCATE
1027	ROYSTONIA ELATA	ROYAL PALM	35			35			GOOD	RELOCATE
1028	SABAL PALMETTO	SABAL PALM	14			25			FAIR	RELOCATE
1030	SABAL PALMETTO	SABAL PALM	12			23			GOOD	RELOCATE
1032	SABAL PALMETTO	SABAL PALM	12			12			GOOD	RELOCATE
1035	ROYSTONIA ELATA	ROYAL PALM	10			30			FAIR	RELOCATE
1036	ROYSTONIA ELATA	ROYAL PALM	12			27			FAIR	RELOCATE
1037	ROYSTONIA ELATA	ROYAL PALM	10			40			FAIR	RELOCATE
1038	ROYSTONIA ELATA	ROYAL PALM	12			40			FAIR	RELOCATE

LANDSCAPE DATA TABLE	SF	ACRES	%
Site Area (Design Area)	297,705	6.83	100.00%
OPEN SPACE CALCULATION			
Zoning Designation: Open Space District and Community Facility District			
VIA INTERIOR LANDSCAPE	4,258	0.10	1.43%
CLAY TENNIS COURTS	14,070	0.32	4.73%
OTHER PERMEABLE LANDSCAPE	131,288	3.01	44.10%
<b>TOTAL</b>	<b>149,616</b>	<b>3.43</b>	<b>50.26%</b>

Sec. 32-384(c)(3) Tree Requirements	Required	Provided
One (1) tree per 1,500sf of total site area (297,705 sf)	198	143
<b>Tree Provided Breakdown:</b>		
New Trees		73 tree credits
New Palms (3 for 1) (150 palms)		50 tree credits
New Palms (1 for 1 Medjool Dates) (2 palms)		2 tree credits
<b>Sec. 32-384(d) Existing Tree Credits</b>		
Existing/Relocated Trees (1 Credit)		1 tree credits
Existing/Relocated Palms (3 for 1 Credit) (10 palms)		3 tree credits
Existing/Relocated Palms (1 for 1 Royal Palms) (7 palms)		7 tree credits
Existing/Relocated Palms (1 Credit)		1 tree credits
<b>Totals:</b>	<b>198</b>	<b>143</b>



KEY MAP



SUBMITTALS:

PHASE	DATE
DRC SUBMITTAL	04/11/2018
60% SUBMITTAL	05/29/2018
CM BID SET	07/06/2018
DRC RE-SUBMITTAL	08/10/2018
2ND RE-SUBMITTAL	11/08/2018
DRC RE-SUBMITTAL	03/15/2019

Revision Schedule		
Revision #	Description	Revision Date

PROJECT TEAM  
 PROFESSIONAL LANDSCAPE ARCHITECT  
 CHRISTOPHER M. PHILLIPS  
 REGISTRATION NUMBER LA-6607361  
 APPROVED BY  
 DESIGNED BY  
 Designer  
 DRAWN BY  
 Author  
 CHECKED BY  
 Checker



DESIGN CONSULTANT

GOLDEN ISLES TENNIS FACILITY

550 Edge Dr  
 Hallandale Beach, FL 33009

PROJECT CODE FILE NUMBER:  
 CLIENT ID - SUBMISSION NUMBER:

LANDSCAPE PLAN

SHEET TITLE



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 Ft. Lauderdale, FL 33309  
 Tel: 954-484-4000 Fax: 954-484-5088  
 www.acai-world.com

ARCHITECT OF RECORD

16-030 G01

TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE PLANS ARE COMPLETE AND COMPLY WITH THE APPLICABLE BUILDING CODES

16-030 G01

PROJECT NUMBER

LP-1

ARCHITECT OF RECORD

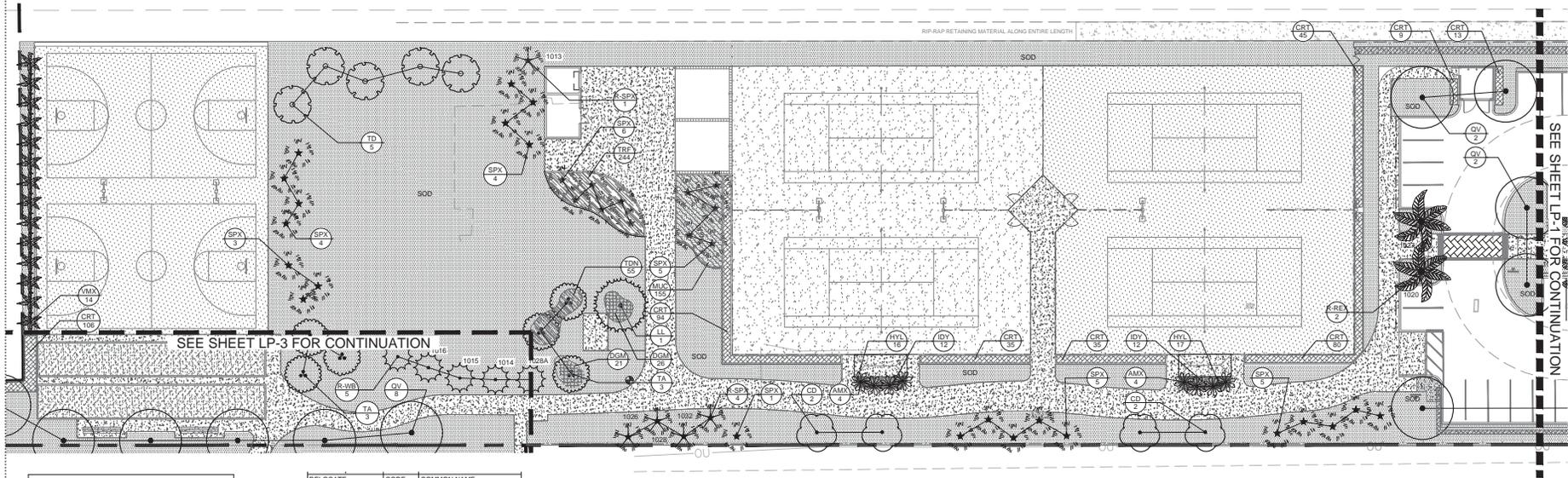
ACAI ASSOCIATES, INC.

ARCHITECT OF RECORD

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PROJECT NUMBER

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**SUBMITTALS:**

PHASE	DATE
DRC SUBMITTAL	04/11/2018
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CM BID SET	07/06/2018
DRC RE-SUBMITTAL	08/01/2018
2ND RE-SUBMITTAL	11/06/2018
DRC RE-SUBMITTAL	03/15/2019

**Revision Schedule**

Revision #	Description	Revision Date

**PROJECT TEAM**  
 PROFESSIONAL LANDSCAPE ARCHITECT  
 CHRISTOPHER M. PHILLIPS  
 REGISTRATION NUMBER LA-6867361  
 APPROVED BY  
 DESIGNED BY  
 Designer  
 DRAWN BY  
 Author  
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 Checker



**DESIGN CONSULTANT**

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 590 Egret Dr  
 Hallandale Beach, FL 33009  
 CLIENT CODE/FILE NUMBER:  
 PROJECT ID - SUBMISSION NUMBER:

LANDSCAPE PLAN

SHEET TITLE



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ARCHITECT OF RECORD  
**16-030 G01**

SHEET NUMBER  
**LP-2**

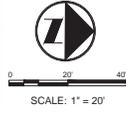
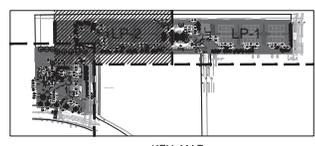
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**PLANT SCHEDULE**

TREES	CODE	COMMON NAME
	BS	Gumbo Limbo
	BS-S	Gumbo Limbo
	CD	Pigeon Plum
	CO	Buttonwood
	DR	Royal Poinciana
	IC	Dahoon Holly
	LL	Wild Tamarind
	QV	Southern Live Oak
	TA	Pink Trumpet Tree
	TD	Bald Cypress
PALM TREES	CODE	COMMON NAME
	AMX	Christmas Palm
	CNX	Coconut Palm
	PDX	Date Palm
	REX	Florida Royal Palm
	SPX	Cabbage Palmetto
	VMX	Montgomery Palm
	WBX	Foxtail Palm

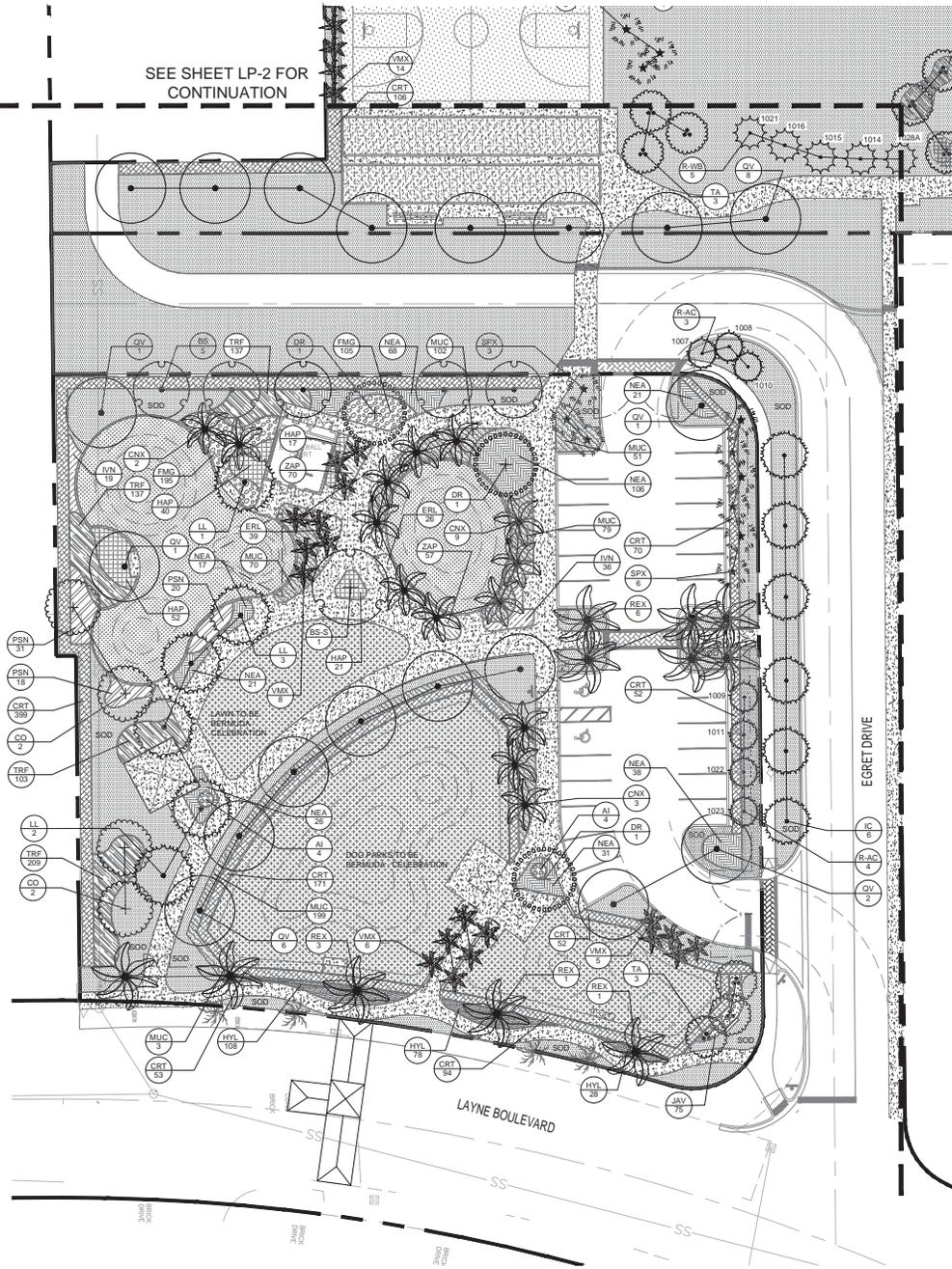
RELOCATE	CODE	COMMON NAME
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	R-SPX	Cabbage Palmetto
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SHRUB AREAS	CODE	COMMON NAME
	AI	Imperial Bromeliad
	CRT	Red Tip Coccoloba
	DSM	Gold Mound Duranta
	ERL	Golden Creeper
	FMG	Green Island Ficus
	HAP	Dwarf Scarlet Bush
	HYL	Spider Lily
	IVN	Dwarf Yaupon
	IDY	Dwarf Thai Yellow Isora
	JAV	Wax Jasmine
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	NEA	Sword Fern
	PSN	Wild Coffee
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	TRF	Florida Gamagrass
	ZAP	Coontie
GROUND COVERS	CODE	COMMON NAME
	TURF	Bermuda Grass 'Celebration'
	SOD	St. Augustine Grass

Tree No.	Botanical Name	Common Name	Caliper (in.)	Canopy (Dia.)	Canopy (SF)	Height O.A. (ft.)	Palm Ht (ft.)	Palm Height (GW, CT)	Condition	Disposition
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1007	ADONIDIA MERRILLII	CHRISTMAS PALM	5				14		GOOD	RELOCATE
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1036	ROYSTONEA ELATA	ROYAL PALM	12				27		FAIR	RELOCATE
1037	ROYSTONEA ELATA	ROYAL PALM	10				40		FAIR	RELOCATE
1038	ROYSTONEA ELATA	ROYAL PALM	12				40		FAIR	RELOCATE



**NOTES:**  
 1. REFER TO LPD-1 FOR COMPLETE PLANT SCHEDULE (SIZE & SPACING INFORMATION)  
 2. ALL SOD TO BE ST. AUGUSTINE UNLESS NOTED ON PLAN.

SEE SHEET LP-2 FOR CONTINUATION

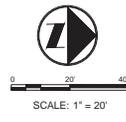
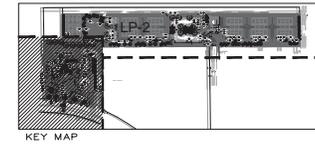


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	DYV	Dwarf Thai Yellow Ixora
	JAV	Wax Jasmine
	MJC	Pink Muhy
	NEA	Sword Fern
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	ZAP	Coarse
GROUND COVERS	CODE	COMMON NAME
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Tree No.	Botanical Name	Common Name	Caliper (in)	Canopy (ft)	Consp (ft)	Height (ft)	Palms (ft)	Palms (ft)	Condition	Disposition
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1037	ROYAL PALM	ROYAL PALM	10					40	FAIR	RELOCATE
1038	ROYAL PALM	ROYAL PALM	12					40	FAIR	RELOCATE



SUBMITTALS:	
PHASE	DATE
DRC SUBMITTAL	04/17/2018
60% LAYOUT	05/29/2018
CM BID SET	07/06/2018
DRC RE-SUBMITTAL	08/10/2018
2ND RE-SUBMITTAL	11/08/2018
DRC RE-SUBMITTAL	03/15/2019

Revision Schedule		
Revision #	Description	Revision Date

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 PROFESSIONAL LANDSCAPE ARCHITECT  
 CHRISTOPHER M. PHILLIPS  
 REGISTRATION NUMBER LA-6867361  
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 Designer  
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DESIGN CONSULTANT  
 GOLDEN ISLES TENNIS FACILITY

500 Egret Dr  
 Hallandale Beach, FL 33009  
 CLIENT CODE/FILE NUMBER:  
 PROJECT ID - SUBMISSION NUMBER:

LANDSCAPE PLAN  
 SHEET TITLE

ACAI  
 ASSOCIATION OF ARCHITECTS ENGINEERS ROOFING CONSULTING CONSTRUCTION MANAGEMENT  
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 Ft. Lauderdale, FL 33309  
 Tel: 954-484-4000 Fax: 954-484-5588  
 WWW.ACAI.COM

ARCHITECT OF RECORD  
 16-030 G01  
 PROJECT NUMBER  
 LP-3  
 TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE PLANS ARE COMPLETE AND COMPLY WITH THE APPLICABLE BUILDING CODES.  
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PLANT SCHEDULE				
TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS
	BS	5	Bursera simarouba / Gumbo Limbo	15' MIN. FT. 6" SPRD. 3" CAL.
	BS-B	1	Bursera simarouba / Gumbo Limbo	SPECIMEN, 15' HT MIN. FULL CANOPY, INTERESTING BRANCHING
	GD	10	Coccoloba diversifolia / Pigeon Plum	15' MIN. HT. 6" SPRD. 3" CAL.
	GD	4	Conocarpus erectus / Buttonwood	15' MIN. FT. 6" SPRD. 3" CAL.
	DR	3	Dalman regia / Royal Poinciana	15' MIN. FT. 6" SPRD. 3" DBH.
	IC	6	Ilex Cassine / Dahon Holly	15' MIN. HT. 6" SPRD. 3" CAL.
	LL	7	Lydium latifolium / Wild Tamarind	15' MIN. HT. 6" SPRD. 3" CAL.
	QV	29	Quercus virginiana / Southern Live Oak	15' MIN. HT. 6" SPRD. 3" CAL.
	TA	9	Tabebuia heterophylla / Pink Trumpet Tree	15' MIN. HT. 6" SPRD. 3" CAL.
	TD	5	Taxodium distichum / Bald Cypress	15' MIN. FT. 6" SPRD. 3" CAL.
PALM TREES				
CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	
AMX	20	Adonis merittii / Christmas Palm	10' GA HT.	
		PALM NOT COUNTED		
CNX	14	Coccothrinax / Coconut Palm	16' 20' GA HT. STAGGERED HTS. NO BOOTS ON TRUNK	
		PALM COUNTED AS 3:1		
PDX	2	Phoenix dactyloides / Medjool / Date Palm	15' CLEAR TRUNK	
		PALM COUNTED AS 1:1		
REX	11	Roystonia elata / Florida Royal Palm	15' DW. 25' GA	
		PALM COUNTED AS 1:1		
SPX	67	Sabal palmetto / Cabbage Palmetto	15' 20' GA HT. STAGGERED HTS. SLICK CUT, HURRICANE CUT	
		PALM COUNTED AS 3:1		
		3 SABALS OFF SITE DO NOT COUNT		
VMX	33	Washingtonia rooseae / Montgomery Palm	15' GA HT.	
		PALM NOT COUNTED		
WBX	5	Wodyetia bifurcata / Foxtail Palm	15' GA HT.	
		PALM COUNTED AS 3:1		
RELOCATE				
CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	
R-AC	7	Adonis merittii / Christmas Palm	Relocation	
		PALM NOT COUNTED		
R-QV	1	Quercus virginiana / Southern Live Oak	Relocation	
R-REX	7	Roystonia elata / Florida Royal Palm	Relocation	
		PALM COUNTED AS 1:1		
R-SPX	5	Sabal palmetto / Cabbage Palmetto	Relocation	
		PALM COUNTED AS 3:1		
R-WB	5	Wodyetia bifurcata / Foxtail Palm	Relocation	
		PALM COUNTED AS 3:1		
SHRUB AREAS				
CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	SPACING
AL	8	Alcantarea impanisula / Imperial Bromeliad	1 GAL POT, 6" SPREAD	30" o.c.
CRT	1,692	Chrysobalanus icaco Red Tip / Red Tip Coccoloba	18" HT x 18" SPRD.	24" o.c.
DM	84	Duranta erecta / Gold Mound / Gold Mound Duranta	12" HT x 18" SPRD.	24" o.c.
REL	65	Erinodes bicoloris / Golden Creeper	12" HT x 18" SPRD.	24" o.c.
FMG	536	Ficus microcarpa / Green Island / Green Island Ficus	12" HT. X 12" SPRD.	18" o.c.
HSP	130	Hamelia patens / Compact / Dwarf Scarlet Bush	18" HT x 18" SPRD.	24" o.c.
HTL	337	Hymenocallis latifolia / Spider Lily	12" HT. X 12" SPRD.	18" o.c.
IN	56	Ilex verticillata / Nana / Dwarf Yaspion	18" HT x 18" SPRD.	24" o.c.
DY	60	Ilex x Dwarf Thai Yellow / Dwarf Thai Yellow Ilex	18" HT x 18" SPRD.	24" o.c.
JAV	76	Jasminum volatile / Wax Jasmine	12" HT. X 12" SPRD.	18" o.c.
MUC	227	Muhlenbergia capillaris / Pink Muhly	18" HT x 18" SPRD.	24" o.c.
NEA	528	Nepenthes acutata / Sarcod Fern	18" HT x 18" SPRD.	24" o.c.
PNK	69	Psychotria nervosa / Wild Coffee	24" HT. X 24" SPRD.	30" o.c.
TBN	56	Tripsacum dactyloides nana / Dwarf Fakahatchee Grass	18" HT x 18" SPRD.	24" o.c.
TBF	1,328	Tripsacum floridana / Florida Gamagrass	18" HT x 18" SPRD.	18" o.c.
ZAP	164	Zamia purpurea / Coonbe	12" HT. X 12" SPRD.	18" o.c.
GROUND COVERS				
CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	SPACING
TRIF	11,988 sf	Cynodon dactylon / Celebration / Bermuda Grass Celebration	Spore Field Seed	
SCD	76,187 sf	Stenotaphrum secundatum / St. Augustine Grass	SCD	

Always call 811 two full business days before you dig to have underground utilities located and marked.

LANDSCAPE DATA TABLE:	SF	ACRES	%
Site Area (Design Area)	297,705	6.83	100.00%
Zoning Designation: Open Space District and Community Facility District			
OPEN SPACE CALCULATION			
VIA INTERIOR LANDSCAPE	4,258	0.30	1.43%
CLAY TENNIS COURTS	14,070	0.32	4.73%
OTHER PERMIABLE LANDSCAPE	131,288	3.01	44.10%
<b>TOTAL</b>	<b>149,616</b>	<b>3.43</b>	<b>50.26%</b>

Sec. 32-384(d) Tree Requirements	Required	Provided
One (1) tree per 1,500sf of total site area (297,705 sf)	198 Trees	132 Trees
<b>Tree Provided Breakdowns:</b>		
New Trees		73 tree credits
New Palms (3 for 1) 185 palms		28 tree credits
New Palms (1 for 1) Medjool Dates & Royal Palms (13 palms)		13 tree credits
<b>Sec. 32-384(d) Existing Tree Credits</b>		
Existing/Relocated Trees (1 Credit)		1 tree credits
Existing/Relocated Palms (3 for 1 Credit) (10 palms)		7 tree credits
Existing/Relocated Palms (1 for 1 Royal Palms) (7 palms)		7 tree credits
Existing/Relocated Palms (1 Credit)		7 tree credits
<b>Totals:</b>	<b>198 Trees</b>	<b>132 Tree credits</b>

Tree No.	Botanical Name	Common Name	Caliper (in.)	Canopy (Dia.)	Canopy (SF)	Height O.A. (ft.)	Palm H (ft.)	Palm Height (GW, CT)	Condition	Disposition
294	QUERCUS VIRGINIANA	OAK	8						GOOD	RELOCATE
1007	ADDONIDIA MERRILLII	CHRISTMAS PALM	5						GOOD	RELOCATE
1008	ADDONIDIA MERRILLII	CHRISTMAS PALM	4						GOOD	RELOCATE
1009	ADDONIDIA MERRILLII	CHRISTMAS PALM	5						GOOD	RELOCATE
1010	ADDONIDIA MERRILLII	CHRISTMAS PALM	6						GOOD	RELOCATE
1011	ADDONIDIA MERRILLII	CHRISTMAS PALM	5						GOOD	RELOCATE
1012	ROYSTONIA ELATA	ROYAL PALM	15						GOOD	RELOCATE
1013	SABAL PALMETTO	SABAL PALM	6						GOOD	RELOCATE
1014	WODYETIA BIFURCATA	FOXTAIL PALM	7						GOOD	RELOCATE
1015	WODYETIA BIFURCATA	FOXTAIL PALM	8						GOOD	RELOCATE
1016	WODYETIA BIFURCATA	FOXTAIL PALM	9						GOOD	RELOCATE
1017	ROYSTONIA ELATA	ROYAL PALM	18						GOOD	RELOCATE
1018	ROYSTONIA ELATA	ROYAL PALM	18						GOOD	RELOCATE
1019	ROYSTONIA ELATA	ROYAL PALM	15						GOOD	RELOCATE
1020	ROYSTONIA ELATA	ROYAL PALM	12						GOOD	RELOCATE
1021	WODYETIA BIFURCATA	FOXTAIL PALM	12						GOOD	RELOCATE
1022	ADDONIDIA MERRILLII	CHRISTMAS PALM	4						FAIR	RELOCATE
1023	ADDONIDIA MERRILLII	CHRISTMAS PALM	4						FAIR	RELOCATE
1024	ROYSTONIA ELATA	ROYAL PALM	12						GOOD	RELOCATE
1025	ROYSTONIA ELATA	ROYAL PALM	12						GOOD	RELOCATE
1026	SABAL PALMETTO	SABAL PALM	7						FAIR	RELOCATE
1027	ROYSTONIA ELATA	ROYAL PALM	15						GOOD	RELOCATE
1028	SABAL PALMETTO	SABAL PALM	14						FAIR	RELOCATE
1030	SABAL PALMETTO	SABAL PALM	12						GOOD	RELOCATE
1032	SABAL PALMETTO	SABAL PALM	10						GOOD	RELOCATE
1035	ROYSTONIA ELATA	ROYAL PALM	10						FAIR	RELOCATE
1036	ROYSTONIA ELATA	ROYAL PALM	12						FAIR	RELOCATE
1037	ROYSTONIA ELATA	ROYAL PALM	10						FAIR	RELOCATE
1038	ROYSTONIA ELATA	ROYAL PALM	12						FAIR	RELOCATE

SUBMITTAL		DATE
DRG SUBMITTAL		04/11/20
60% SUBMITTAL		05/29/20
CM BID SET		07/06/20
DRG RE-SUBMITTAL		08/10/20
2ND RE-SUBMITTAL		11/09/20
DRG RE-SUBMITTAL		03/15/20

Revision Schedule		
Revision #	Revision Description	Revision D

PROJECTE  
PROFESSIONAL LANDSCAPE ARCH  
CHRISTOPHER M. PHILLIPS  
REGISTRATION  
N U M B E R LA-6667  
APPROVED BY  
DESIGNED BY  
DRAWN BY  
CHECKED BY  
Auth  
Chec

DESIGN CONSULTA  
GRAVEN THOMPSON AND ASSOCIATI  
ENGINEERS PLANNERS SURVEY  
AND LANDSCAPE ARCHITECTS  
1100 N. W. 10TH AVENUE, SUITE 1000  
MIAMI, FL 33136  
PH: 305.575.1100 FAX: 305.575.1101  
WWW.GRAVEN-THOMPSON.COM

GOLDEN ISLES TENNIS FACILITY

500 Egret Dr  
Hallandale Beach, FL 33009  
CLIENT CODE/FILE NUMBER:  
PROJECT ID - SUBMISSION NUMBER:

LANDSCAPE PLAN NOTES  
SHEET TITLE

ACA  
A S S O C I A T E S  
A R C H I T E C T U R E E N G I N E E R I N G  
R O O L I N G - C O N S U L T A N T S  
A A C 0 1 3 2 3 E B 0 0 4 3 7 9 G C G 0 1 1  
2 9 3 7 W. C y p r e s s C r e e k R d., S u i t e 3  
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ARCHITECT OF RECORD  
16-030 G01  
PROJECT NUMBER  
LPD-1

TO THE BEST OF MY KNOWLEDGE  
AND ABILITY THESE PLANS ARE  
COMPLETE AND COMPLY WITH  
APPLICABLE BUILDING CODES  
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## GENERAL NOTES

- A PRE-CONSTRUCTION MEETING WITH THE CITY OF HALLANDALE BEACH AND LANDSCAPE ARCHITECT IS REQUIRED PRIOR TO LANDSCAPING ACTIVITIES INCLUDING REMOVAL OF TREES AND/OR INSTALLATION OF PLANT MATERIAL. CALL A MINIMUM OF 5 DAYS PRIOR TO DESIRED START DATE TO SCHEDULE PRE-CONSTRUCTION MEETING.
- ALL EXISTING TREES PROPOSED TO REMAIN ARE TO BE SEPARATED FROM THE LIMITS OF DISTURBANCE OF THE CONSTRUCTION AREA BY TREE PROTECTION FENCING AND SIGNAGE. THE TREE PROTECTION FENCING SHALL BE LOCATED AT THE EDGE OF THE TREE PROTECTION ZONE AS SHOWN ON THE PLAN OR AT THE EDGE OF THE DRIP LINE IF A TREE PROTECTION ZONE IS NOT DESIGNATED. NO MATERIAL STORAGE OR CONSTRUCTION ACCESS IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
- ALL EXISTING TREES SHALL BE PRUNED TO ANSI A-300 STANDARDS TO CORRECT POTENTIAL HAZARDS.
- A TREE REMOVAL PERMIT IS REQUIRED PRIOR TO REMOVAL OR RELOCATION OF ANY TREE OR PALM. CONTACT THE CITY OF OAKLAND PARK TO OBTAIN PERMIT INFORMATION.
- LANDSCAPE CONTRACTOR SHALL NOTIFY SUNSHINE ONE CALL OF FLORIDA, INC. AT 1-800-432-4770 A MINIMUM OF 2 FULL BUSINESS DAYS PRIOR TO DIGGING. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR AVOIDING DAMAGE TO UTILITIES FROM PLANT INSTALLATION.
- TREE RELOCATIONS:
  - EXISTING TREES TO BE RELOCATED SHALL BE ROOT PRUNED A MINIMUM OF 120 DAYS PRIOR TO RELOCATION.
  - MINIMUM ROOT BALL SIZES SHALL BE IN ACCORDANCE WITH ANSI STANDARDS AS FOLLOWS:
 

CALIPER	MINIMUM ROOT BALL DIAMETER
1	16
2	24
3	32
4	42
5	54
6	70
8	90
10	108
  - MINIMUM 3/8" INCHES PER INCH OF TRUNK DIAMETER TRANSPLEATED TREES WITH UNDERZOO ROOT BALLS MAY BE REJECTED BY THE TOWN ARBORIST AND REELOCATING TREES MAY BE REQUIRED.
  - A TEMPORARY IRRIGATION SYSTEM SHALL BE PROVIDED DURING AND FOR THE FIRST 40 DAYS AFTER ROOT PRUNING.
- ALL PLANTING MUST FOLLOW PLANTING SPECIFICATIONS AND DETAILS SHOWN ON THE PLAN.
- SUBSTITUTIONS OF PLANT SPECIES OR SPECIFICATIONS MUST BE APPROVED IN WRITING BY THE CITY OF OAKLAND PARK AND THE LANDSCAPE ARCHITECT PRIOR TO USE.
- ALL PLANT MATERIAL PLANTED PER THIS LANDSCAPE PLAN SHALL BE FLORIDA GRADE #1 OR BETTER, AS SPECIFIED IN THE CURRENT EDITION OF THE FLORIDA DEPARTMENT OF AGRICULTURE'S GRADES FOR NURSERY PLANTS. DAMAGED PLANT MATERIAL SHALL BE REJECTED AND REPLACED PRIOR TO INSTALLATION.
- ALL SIZES SHOWN FOR PLANT MATERIAL ARE TO BE CONSIDERED MINIMUMS.
- WHERE QUANTITIES AND/OR SPECIES DIFFER BETWEEN THE PLANTING PLANS AND PLANT LISTS, THE PLANS SHALL TAKE PRECEDENCE.
- ALL NEW PLANT MATERIAL SHALL BE WARRANTED BY THE LANDSCAPE CONTRACTOR FOR A MINIMUM PERIOD OF ONE YEAR. THE WARRANTY PERIOD SHALL BEGIN AFTER FINAL ACCEPTANCE OF PROJECT BY THE CITY.
- PLANT BEDS TO BE TREATED WITH PRE-EMERGENT HERBICIDE PRIOR TO PLANTING
- ALL TREE AND PALM STAKING AND SUPPORT SHALL BE REMOVED ONE YEAR AFTER INSTALLATION.
- NO FERTILIZER SHALL BE APPLIED TO NEWLY PLANTED TREES AND PALMS.
- ALL LANDSCAPE MATERIAL SHALL BE THOROUGHLY WATERED AT THE TIME OF PLANTING, NO DRY PLANTING PERMITTED.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY WATER PROVISIONS UNTIL SUCH TIME AS THE IRRIGATION SYSTEM IS OPERATIONAL.
- ALL WIRE GUY'S AND/OR FABRIC STRAPS SHALL BE FLAGGED WITH FLOURESCENT COLORED TAPE.
- MULCHING:
  - ALL LANDSCAPE AREAS NOT COVERED BY SOD SHALL BE COVERED BY A MINIMUM 3-INCH LAYER OF CLEAN FLORA MULCH.
  - A MULCH RING WITH A MINIMUM RADIUS OF 24 INCHES (8 INCH DIAMETER), IS REQUIRED AROUND ALL NEWLY INSTALLED TREES AND PALMS.
  - MATCH EXISTING MULCH COLOR.
  - NO MULCH SHALL BE PLACED TOUCHING OR WITHIN THREE INCHES OF THE TRUNK OF A TREE OR PALM.
- ALL NEWLY LANDSCAPED AREAS SHALL BE EXCAVATED DOWN TO A DEPTH OF 30 INCHES BELOW FINAL GRADE AND BACK FILLED WITH CLEAN DEBRIS-FREE SOIL. EXISTING SOIL MAY BE REUSED FOR BACKFILLING IF DEBRIS IS REMOVED AND ORGANIC CONTENT IS SUFFICIENT OR SOIL IS AUGMENTED WITH TOPSOIL. CONSTRUCTION ACCESS SHALL BE RESTRICTED FROM THE LANDSCAPE AREA AFTER EXCAVATION AND BACKFILL IS COMPLETE.
- ALL LANDSCAPE AREAS SHALL BE FINISH GRADED SUCH THAT THEY ARE A MINIMUM OF 3.5 INCHES BELOW SURROUNDING PAVED SURFACES SO AS NOT TO IMPEDER THE FLOW OF DRAINAGE INTO LANDSCAPED AREAS AND TO ALLOW FOR A 1/4" INCH MULCH OVER OR SOD.
- THE LOCATION OF PLANT MATERIAL AS SHOWN ON THESE PLANS IS FINAL. THE FINAL LOCATIONS CAN BE ADJUSTED ON SITE TO ACCOMMODATE UNFORSEEN FIELD CONDITIONS. THESE CHANGES MUST COMPLY WITH ALL SAFETY SETBACK CRITERIA AND BE DIRECTED OR APPROVED BY THE LANDSCAPE ARCHITECT AND THE CITY OF OAKLAND PARK.
- REPORT ANY AND ALL DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT IMMEDIATELY.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT COUNTS AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- BEFORE CONSTRUCTION BEGINS THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING CONSTRUCTION. IF SUCH DAMAGE OCCURS THE CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY REPAIRS AND THEY SHOULD BE MADE IMMEDIATELY AT THE CONTRACTORS EXPENSE WITH SUPERVISION OF THE LANDSCAPE ARCHITECT.
- ALL WORK MUST COMPLY WITH THE FLORIDA STATE STATUTE 55.31 "PROTECTION OF UNDERGROUND PIPELINES"
- THE CONTRACTOR MUST COMPLY WITH ALL STATE AND LOCAL WATER QUALITY STANDARDS.

## LANDSCAPE NOTES

- THE LOCATION OF ALL THE UTILITIES SHOWN ON THE PLAN IS APPROXIMATE. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR ON SITE. ALL PLANTING MAY BE ADJUSTED TO AVOID CONFLICTS WITH UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ANY ADJUSTMENTS GREATER THAN 5 FEET SHALL BE DONE ONLY WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- CAUTION SHOULD BE EXERCISED WHEN WORKING NEAR EXISTING PLANTING AND ANY FURNISHINGS THAT IS TO REMAIN ON SITE TO PREVENT ANY DAMAGE. ANY SIGNS, STRUCTURES, OR PLANTING SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE IF DAMAGED BEYOND USE DAMAGED BEYOND USE WILL BE DETERMINED BY THE LANDSCAPE ARCHITECT.
- ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHALL NOTIFY THE DISTRICT LOCATION SURVEYOR IMMEDIATELY.
- MAINTENANCE OF TRAFFIC FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (U.T.C.D.) DEPARTMENT OF TRANSPORTATION, F.L.W. 3.A. ATTENTION IS DIRECTED TO STANDARD INDEX NUMBER 625 OF THE ROADWAY AND TRAFFIC DESIGN STANDARDS.
- THE CONTRACTOR SHALL INSURE THAT INSTALLATION OF ALL PLANTING IN MEDIANS AND RIGHT-OF-WAYS CONFORMS TO CRITERIA SET FORTH IN F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS AND IN F.D.O.T. MAINTENANCE RATING PROGRAM.
- ANY MAINTENANCE THAT INVOLVES TRAFFIC ACTIVITY SHALL BE COORDINATED WITH THE CONTRACTOR AND ONGOING CONSTRUCTION ACTIVITIES.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL WORK AREAS AT THE END OF EACH WORKING DAY. ANY DEBRIS SHALL BE COLLECTED AND DEPOSITED APPROPRIATELY OFF SITE DAILY. ALL MATERIALS, PRODUCTS, AND EQUIPMENT SHALL BE STORED IN AN ORGANIZED FASHION AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS THAT ARE REQUIRED BY THE CITY FOR TREE REMOVAL, RELOCATION, TREE PROTECTION OR INSTALLATION BEFORE BEGINNING WORK.
- ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED BY INSTALLING PROTECTIVE BARRIERS AROUND THE DRIP LINE OF TREES. THESE PROTECTIVE BARRIERS SHALL BE SEEN EASILY BY OPERATORS OF TRUCKS AND OTHER EQUIPMENT. THEY SHALL BE CONSTRUCTED OF STURDY MATERIALS (NOT FLAGGING OR RIBBON) AND SHALL BE INSTALLED PRIOR TO AND DURING CONSTRUCTION.
- DO NOT STORE OR USE ANY MATERIALS OR EQUIPMENT WITHIN THE DRIP LINE OF ANY TREE THAT IS TO BE RELOCATED OR PROTECTED IN PLACE UNLESS THE ACTIVITY IS BEING DONE TO PROTECT THE TREES.
- DO NOT DISCHARGE OR CONTAMINATE THE SOIL WITHIN THE DRIP LINE OF ANY OF THE TREES TO BE RELOCATED OR PROTECTED IN PLACE. THIS INCLUDES SUBSTANCES SUCH AS PAINT, OIL, SOLVENTS, PETROLEUM PRODUCTS, ASPHALT, CONCRETE, MORTAR, OR ANY OTHER MATERIAL THAT MAY CAUSE DAMAGE TO THE TREES ROOT SYSTEM.
- CLEARING OF VEGETATION WITHIN THE DRIP LINE OF THE TREES DESIGNATED TO BE PROTECTED IN PLACE OR RELOCATED SHALL BE PERFORMED CAUTIOUSLY WITH HAND TOOLS TO MINIMIZE ANY DAMAGE TO THE TREES ROOT SYSTEM.
- DO NOT ATTEMPT ANYTHING TO TREES THAT ARE TO REMAIN ON THE SITE UNLESS IT IS SOMETHING THAT WILL PROTECT AND NOT DAMAGE THE TREE.
- KEEP A NATURAL GRADE ABOVE THE DRIP LINE ON ANY TREE THAT IS TO BE PROTECTED IN PLACE. ANY PRESERVED TREES DISTURBED DURING CONSTRUCTION MUST BE RETURNED TO ITS ORIGINAL GRADE AFTER CONSTRUCTION.
- ALL LANDSCAPE AND PLANTING SHALL COMPLY WITH CITY OF HALLANDALE LAND USE POLICY AND CODES.
- INSTALLATION: ALL PLANT MATERIAL SHALL BE INSTALLED IN A SOUND WORKMANLIKE MANNER AND ACCORDING TO GOOD PLANTING PROCEDURES WITH THE QUALITY OF ALL MATERIALS AS HEREINAFTER DESCRIBED. ALL ELEMENTS OF LANDSCAPING SHALL BE INSTALLED SO AS TO MEET ALL APPLICABLE ORDINANCES AND CODE REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTAINING ALL TREES AND LANDSCAPE UNTIL FINAL ACCEPTANCE BY THE CITY. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE AND PERCOLATION OF ALL PLANTING FITS PRIOR TO INSTALLATION OF PLANTING. CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF PLANTS IF DEAD OR DYING PRIOR TO FINAL ACCEPTANCE.
- TYPICALLY, SHRUB AND GROUNDCOVER PLANTINGS ARE SHOWN AS MASS PLANTING BEDS. PLANTS SHOULD BE PLACED ON A TRIANGULAR SPACING SHOWN IN THE PLANTING DETAILS. PLANT CENTER TO CENTER DIMENSIONS (C/C) ARE LISTED ON THE PLANT LIST.
- TREES GROWN IN GROW BAGS OR GROW BAG TYPE MATERIAL MUST HAVE THE GROW BAG REMOVED ENTIRELY BEFORE PLANTING.
- BALLED AND BURLAPPED MATERIAL SHALL HAVE THE TOP ONE HALF (50%) OF THE BURLAP AROUND THE BASE OF THE TRUNK CUT AND PULLED BACK. DO NOT REMOVE THE BURLAP BUT WIRE CAGES, STRAPS, ETC. MUST BE CUT AND REMOVED COMPLETELY BEFORE INSTALLATION.
- CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES, AND ANY OTHER MATERIALS FROM THE LANDSCAPE ARCHITECT FOR COMPLETE LANDSCAPE PLANTING INSTRUCTIONS.
- "BRANCH TOUCHING BRANCH" PROVIDED AT TIME OF INSTALLATION FOR ALL HEDGES.
- THE FOLLOWING GUIDELINES SHALL BE FOLLOWED TO ENSURE SUCCESSFUL TRANSPLANTING OF TREES:
  - ANY TREE BEING RELOCATED SHALL NOT BE UNNECESSARILY DAMAGED DURING REMOVAL, TRANSPORT, OR REPLANTING OF THAT TREE.
  - TREES MUST BE ROOT PRUNED APPROPRIATELY PRIOR TO REMOVAL.
  - DURING AND FOLLOWING TRANSPLANTING THE ROOT BALL MUST BE KEPT MOST AT ALL TIMES.
  - TRANSPLEATED TREES SHALL BE BRACED AT LEAST ONE FULL YEAR.
  - TRANSPLEATED TREES SHALL NOT BE RELOCATED ANY TIME BUT SHALL BE WATERED SUFFICIENTLY UNTIL THE TREE GROWTH IS REESTABLISHED.
  - RELOCATED TREES SHALL BE MOVED IN ACCORDANCE WITH MINIMUM STANDARDS SET FORTH IN ANSI A-300.
  - ALL CROWN PRUNING SHALL BE DONE IN ACCORDANCE WITH NATIONAL ARBORIST PLANTING STANDARDS OR PALM PRUNING IN ACCORDANCE WITH CITY STANDARDS.
- LANDSCAPE CONTRACTOR SHALL REGRADE ALL AREAS DISTURBED BY PLANT REMOVAL, RELOCATION, AND/OR INSTALLATION WORK. LANDSCAPE CONTRACTOR SHALL REPLACE BY EQUAL SIZE AND QUALITY ANY AND ALL EXISTING PLANT MATERIAL DESTROYED OR DAMAGED BY PLANT REMOVAL, RELOCATION OR INSTALLATION.
- CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE ALL PORTIONS OF EXISTING LAWN AREAS DAMAGED DURING CONSTRUCTION AND WHILE COMPLETING PLANTING INSTALLATION WITH SAME GRASS SPECIES TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT. NO LANDSCAPE AREAS ARE TO BE LEFT UNSEED UNLESS SHRUB MATERIAL IS TO BE PLANTED.
- GENERAL GRADING TO APPROXIMATELY 1 INCH SHALL BE PROVIDED BY THE CONTRACTOR. ALL FINISHED AND FINAL DECORATIVE BERM SHAPING SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR.
- ALL LANDSCAPE MATERIALS SHALL BE MAINTAINED TO PROVIDE CONTINUOUS CLEAR ZONES FOR SIGHT VISIBILITY FOR PEDESTRIANS AND VEHICULAR TRAFFIC AND LANDSCAPE MAINTENANCE SHALL CONFORM TO STANDARD INDEX 546 CRITERIA SET FORTH IN F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS.
- ALL LANDSCAPE MATERIALS SHALL BE MAINTAINED TO PROVIDE CONTINUOUS CLEAR ZONES FOR SIGHT VISIBILITY AROUND THE 37'-4" CPTED STANDARD UNLESS THE MUNICIPAL LANDSCAPE CODE REQUIRES OTHERWISE.

## SOIL PREPARATION, SOIL MIX, FERTILIZER, & MULCH NOTES:

- ENSURE THAT ALL PLANTING SOIL IS FERTILE, FRIABLE, NATURAL LOAM SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, WEEDS AND OTHER LITTER, AND FREE OF ROCKS, STUMPS, AND STONES LARGER THAN ONE INCH IN DIMENSION, AND OTHER EXTRACTORS OR TOXIC MATTER HARMFUL TO PLANT GROWTH SHOULD ANY SOIL AMENDMENT BE NECESSARY. THE CONTRACTOR SHALL BRING THIS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- APPLY APPROVED HERBICIDE - ACCORDING TO MANUFACTURERS RATE AND SPECS WITHIN LIMITS OF ALL AREAS TO BE PLANTED. PROTECT EXISTING PLANTS TO REMAIN FROM OVERSPRAY OR SPRAY WITHIN ROOT ZONE. CONTRACTOR TO ENSURE TOTAL WEED ERADICATION.
- SCARIFY SUBSOIL TO A DEPTH OF 3 INCHES.
- PLANTING MIX FOR TREES, SHRUBS, AND GROUNDCOVERS SHALL CONSIST OF A THOROUGHLY BLENDED MIXTURE OF:
  - 70% SAND
  - 30% TOPSOIL
- PLANTING MIX FOR BACKFILL AROUND ROOT BALLS OF PALMS SHALL CONSIST OF A THOROUGHLY BLENDED MIXTURE OF:
  - 90% NATIVE SAND
  - 10% TOPSOIL
- FERTILIZE ALL TREES, SHRUBS AND GROUNDCOVER WITH PLANTING TABLETS 20-20-6 FORMULA, 21 GRAM.
- ALL SHRUB BEDS SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 2" AND BACK FILLED WITH THE SPECIFIED MIXTURE.
- SMOOTH ALL PREPARED TOPSOIL TO 7" EXCEPT WITHIN DRIP LINES OF EXISTING TREES AND 4" BELOW TOP OF SURROUNDING PAVING DECKS. REMOVE ALL ROCKS AND OTHER OBJECTS OVER 1" IN DIAMETER.
- FINISH GRADE ALL PREPARED TOPSOIL AREAS TO A SMOOTH, EVEN SURFACE ASSURING POSITIVE DRAINAGE AWAY FROM THE STRUCTURES AND ELIMINATE ANY LOW AREAS WHICH MAY COLLECT WATER.
- TOPSOIL SHALL NOT BE EXTREMELY ACIDIC OR ALKALINE. NOR CONTAIN ANY TOXIC SUBSTANCE WHICH MAY BE HARMFUL TO PLANT GROWTH. THE PH SHALL BE IN THE RANGE OF 6.5-7.0.
- CONTRACTOR SHALL MULCH ALL PLANTING MATERIAL THROUGHOUT AND COMPLETELY TO A 3 INCH DEPTH WITH CLEAN, WEED FREE FLORAMULCH
- MINIMUM OF 2" TOPSOIL MUST BE ADDED UNDER ALL SODDED AREAS.

## HAND WATERING NOTES:

- APPLICATION SCHEDULE WATER NEW AND RELOCATED TREES AND PALMS EVERY DAY FOR THE FIRST TWO WEEKS, THREE TIMES A WEEK FOR THE SECOND TWO WEEKS, AND THEN TWICE A WEEK FOR THE NEXT EIGHT WEEKS FOR A TOTAL OF A 90 DAY WATERING PERIOD. NO FURTHER WATERING WILL BE REQUIRED.
- EARTH BERM 6" HIGH OUTSIDE THE PROPOSED ROOT BALL PRIOR TO WATERING. APPLY A MINIMUM OF 4" OF WATER WITHIN THE SAUCER OR 1-3 GALLONS PER INCH OF TRUNK DIAMETER, WHICH EVER IS MORE AT EACH WATERING. WATER APPLICATION SHOULD SATURATE THE ROOT BALL TO ITS ENTIRE DEPTH. DO NOT WATER IF ROOT BALL IS ALREADY SATURATED.
- HANDWATERING IS IN ADDITION TO THE UNDERGROUND IRRIGATION SYSTEM.

## IRRIGATION NOTES:

- FLORIDA FRIENDLY PRINCIPALS HAVE BEEN UTILIZED IN THE DESIGN OF THIS PROJECT AND SHALL BE APPLIED ALL THROUGHOUT LANDSCAPE INSTALLATION AND MAINTENANCE.
- THE CONTRACTOR SHALL MAINTAIN TEMPORARY IRRIGATION OR PROVIDE HAND WATERING FOR ALL RELOCATED TREES AND PALMS FROM NOTICE TO PROCEED UNTIL PERMANENT IRRIGATION SYSTEM IS OPERABLE.
- THE IRRIGATION SYSTEM SHALL BE CONFIGURED TO ACCOMMODATE EXISTING TREES AND PALMS WITHIN THE RIGHT OF WAY.
- ALL LANDSCAPED AREAS MUST BE IRRIGATED IN ACCORDANCE WITH ALL LOCAL/COUNTY REQUIREMENTS AND MUST MAINTAIN 100% COVERAGE WITH 50% OVERLAP FOR EXISTING AND PROPOSED LANDSCAPE AREAS.
- REMOVE EXISTING IRRIGATION EQUIPMENT WHICH INTERFERES WITH ANY CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, CONTROLLERS, SPRINKLER HEADS, PIPE, QUICK COUPLERS, BACKFLOW PREVENTERS, CONTROL WIRE AND CONDUITS. ADDITIONALLY THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE EXISTING SYSTEM THROUGHOUT THE CONSTRUCTION PROCESS.
- LANDSCAPE CONTRACTOR SHALL COORDINATE ALL PLANTING WORK WITH IRRIGATION WORK. INSPECT IRRIGATION SYSTEM AND INSURE THAT ADEQUATE WATER IS AVAILABLE BEFORE BEGINNING PLANTING OPERATIONS. IRRIGATION SYSTEMS WILL NOT PROVIDE SUFFICIENT QUANTITIES OF WATER FOR NEWLY PLANTED MATERIALS. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DEEP ROOT HAND WATERING.
- SEE IRRIGATION PLANS FOR ADDITIONAL INFORMATION.

SUBMITTAL	DATE
PHASE	04/11/2021
DRG SUBMITTAL	04/11/2021
60% SUBMITTAL	05/29/2021
CM BID SET	07/06/2021
DRG RE-SUBMITTAL	08/10/2021
2ND RE-SUBMITTAL	11/09/2021
DRG RE-SUBMITTAL	03/15/2022

Revision Schedule		
Revision #	Revision Description	Revision D

PROJECT ARCH	
PROFESSIONAL LANDSCAPE ARCH	
CHRISTOPHER M. PHILLIPS	
REGISTRATION	LA-66971
N U M B E R	
APPROVED BY	
DESIGNED BY	
DRAWN BY	
CHECKED BY	
C H E C K E D B Y	



DESIGN CONSULT

GOLDEN ISLES TENNIS FACILITY

500 Egret Dr  
Hallandale Beach, FL 33009

CLIENT CODEFILE NUMBER:  
PROJECT ID - SUBMISSION NUMBER:

LANDSCAPE PLAN NOTES  
SHEET TITLE



AA001323 EB0004379 G00101  
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www.acai.com

ARCHITECT OF RECORD

16-030 G01

PROJECT NUMBER  
LPD-2

SHEET NUMBER  
TO THE BEST OF MY KNOWLEDGE  
AND ABILITY THESE PLANS ARE  
COMPLETE AND COMPLY WITH ALL  
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**Sunshine811.com**

SUBMITTAL PHASE		DATE
DRC SUBMITTAL	06/11/21	
60% CM BID SET	05/29/21	
CM BID SET	07/06/21	
DRC RE-SUBMITTAL	08/10/21	
2ND RE-SUBMITTAL	11/08/21	
DRC RE-SUBMITTAL	03/15/22	

Revision Schedule		
Revision #	Revision	Revision #

Always call 811 two full business days before you dig to have underground utilities located and marked.

PROJECT TITLE  
PROFESSIONAL LANDSCAPE ARCHITECT  
CHRISTOPHER M. PHILLIPS  
REGISTRATION NUMBER LA-666  
APPROVED BY  
DESIGNED BY  
DRAWN BY  
CHECKED BY

CRAVEN + THOMPSON AND ASSOCIATES  
ENGINEERS • PLANNERS • SURVEYORS  
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DESIGN CONSULT

GOLDEN ISLES TENNIS FACILITY

500 Egret Dr  
Hallandale Beach, FL 33009  
CLIENT CODE/FILE NUMBER  
PROJECT ID - SUBMISSION NUMBER:

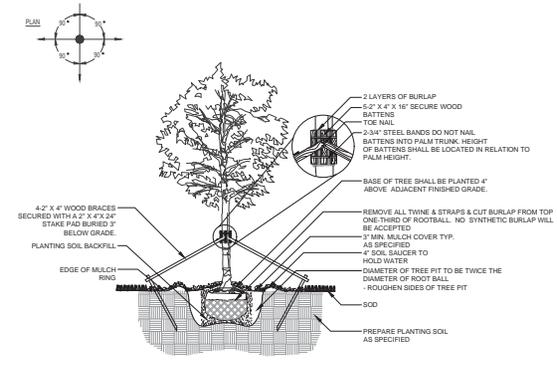
LANDSCAPE PLAN DETAILS  
SHEET # TITLE

ACA ASSOCIATES  
architect-engineer-consultant-construction-manager

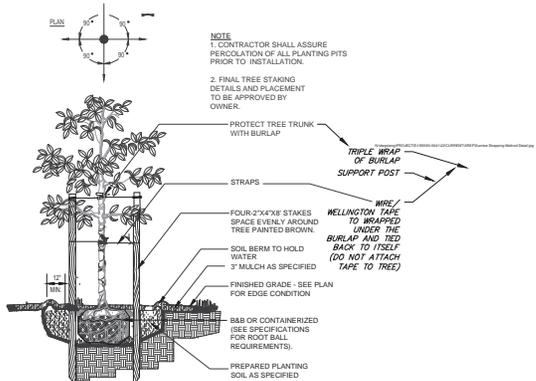
AC001323 EB004379 CG001  
2337 W. Cypress Creek Rd. Suite  
F01, Lauderdale, FL 33  
Tel: 954-484-4000 Fax: 954-484-4000  
www.aca-world.com

ARCHITECT OF RECORD  
**16-030 GO**  
PROJECT NUMBER  
**LPD-3**

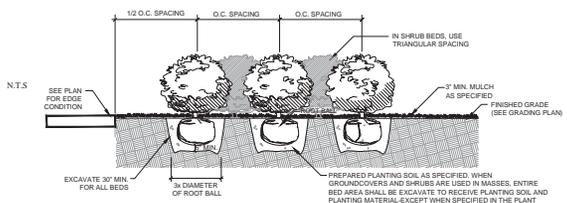
SHEET NUMBER  
TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE PLANS ARE COMPLETE AND COMPLY WITH ALL APPLICABLE BUILDING CODES  
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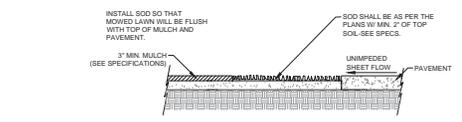
1 LARGE TREE SECTION NTS



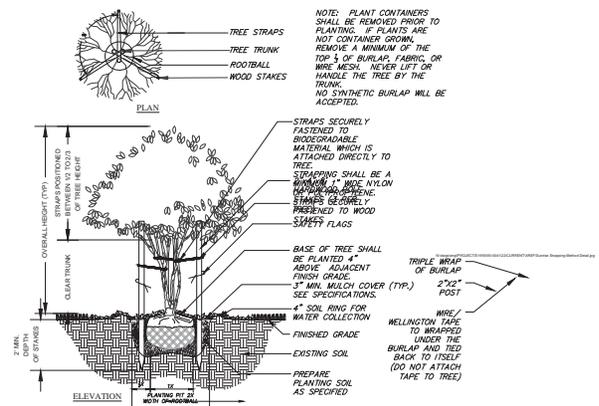
2 SMALL TREE SECTION NTS



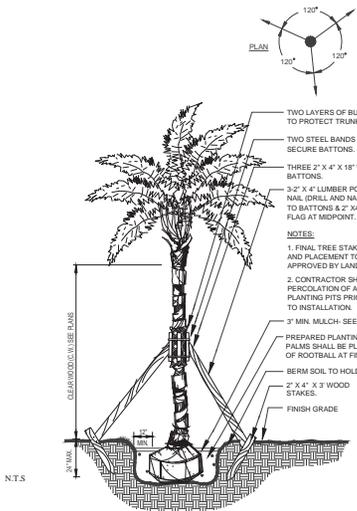
5 SHRUB PLANTING SECTION NTS



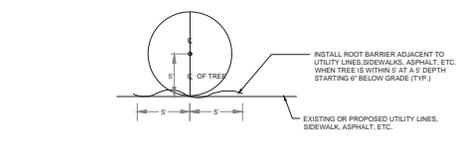
6 SOD INSTALLATION SECTION NTS



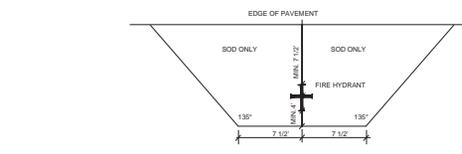
3 MULTI TRUNK TREE PLANTING DETAIL NTS



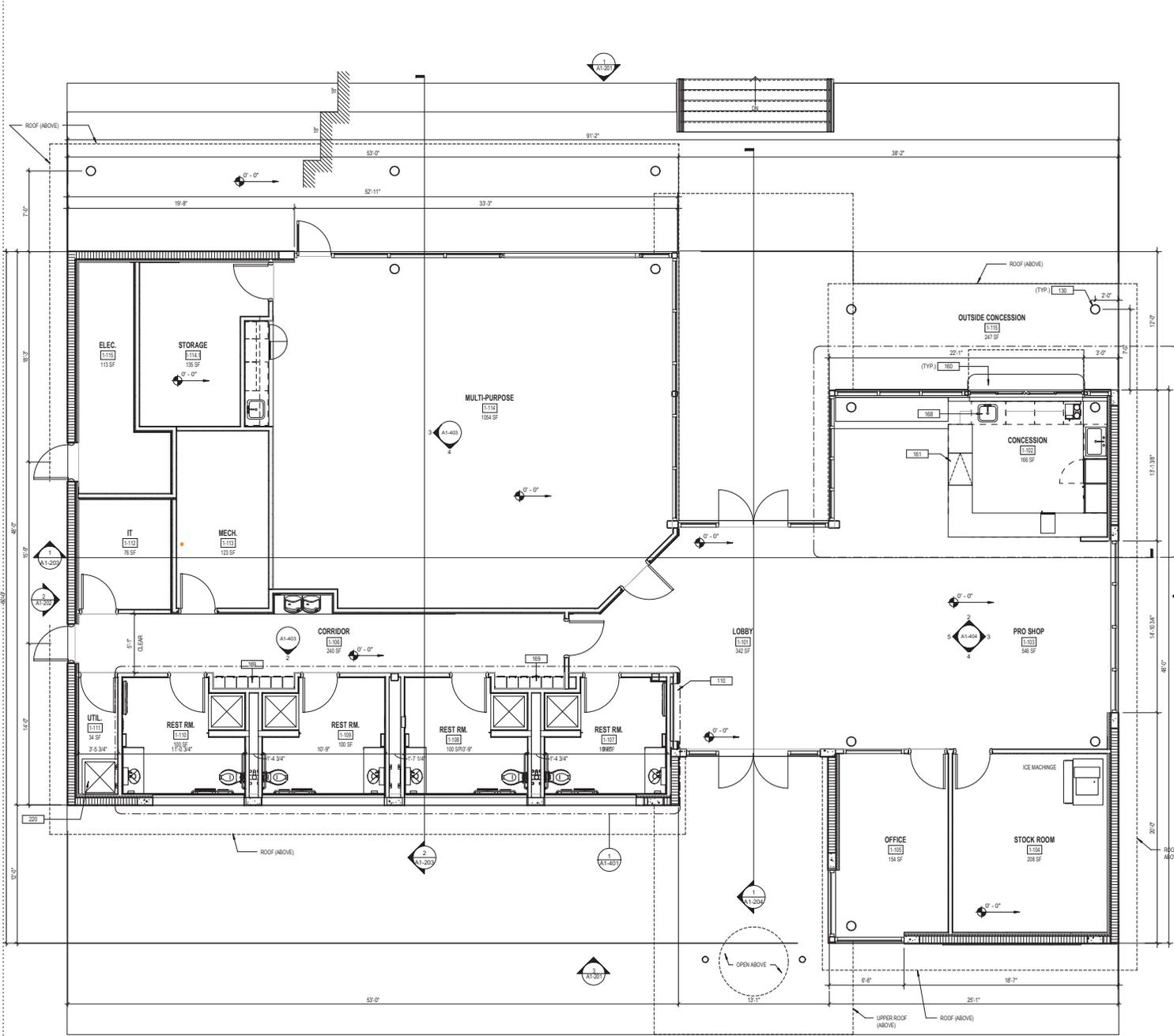
4 PALM (TYPICAL) SECTION NTS



7 ROOT BARRIER SECTION NTS



8 FIRE HYDRANT CLEAR ZONE SECTION NTS



### FLOOR PLAN LEGEND

N.T.S.

	NEW CONCRETE WALL. SEE PARTITION TYPES
	NEW CMU WALL. SEE PARTITION TYPES
	NEW INTERIOR PARTITION. SEE PARTITION TYPES
	NEW SMOKE RATED PARTITION. SEE PARTITION TYPES
	NEW FIRE RATED PARTITION. SEE PARTITION TYPES
	NEW DOOR. SEE DOOR SCHEDULE AND DETAILS
	NEW WINDOW
	INDICATES EXISTING AREA NOT IN CONTRACT
	PROJECT LIMIT LINE
	MATCHLINE

- ### FLOOR PLAN GENERAL NOTES
- ALL DIMENSIONS ARE TO THE FACE OF STUD AND/OR FACE OF CMU OR CONCRETE WALLS, UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL COORDINATE REQUIREMENTS OF EQUIPMENT, MILLWORK AND FURNITURE PROVIDED BY OWNER. COORDINATE LOCATION OF ASSOCIATED MECHANICAL, ELECTRICAL & PLUMBING WITH C/D SHEETS.
  - CONTRACTOR SHALL PROVIDE BACKING AS NECESSARY TO PROPERLY SUPPORT WALL-MOUNTED EQUIPMENT, FIXT., ETC.
  - DOOR FRAMES SHALL BE LOCATED 4" MIN FROM ADJACENT WALL UNLESS NOTED OTHERWISE. TYPICAL FOR ALL DOORS.
  - SEE SHEET A-801 FOR WALL AND PARTITION TYPES AND DETAILS.
  - SEE SHEET A-601 AND A-602 FOR DOOR AND WINDOW TYPES AND DETAILS.
  - CONTRACTOR TO COORDINATE AND VERIFY ALL AV EQUIPMENT REQUIREMENTS AND LOCATIONS WITH OWNER REPRESENTATIVE PRIOR TO COMMENCING UTILITIES ROUGH-IN.

### KEYNOTE LEGEND

KEY VALUE	DESCRIPTION
110	DISPLAY CASE. SEE SPECIFICATIONS
130	STRUCTURAL TUBE COLUMNS. SEE STRUCTURAL DRAWINGS
160	SOLID SURFACE COUNTERTOP
161	FLEX TOP COUNTERTOP
168	KITCHEN SINK. SEE PLUMBING FIXTURE SCHEDULE (O.F.C.I.)
169	LOCKERS (C.F.C.I.)
221	H/O WATER FOUNTAIN (O.F.C.I.)

### SUBMITTALS

PHASE	DATE
DRG SUBMITTAL	3.15.19

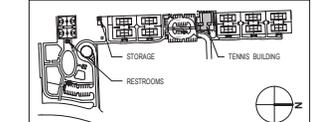
Revision #	Revision Description	Revision Date

PROJECT TEAM  
PROFESSIONAL IN CHARGE  
ADOLFO J. COTILLA, AIA  
REGISTRATION NUMBER AR-0008011  
APPROVED BY AJC  
DESIGNED BY DWVGV  
DRAWN BY FL  
CHECKED BY DW

DESIGN CONSULTANT  
GOLDEN ISLES PARK  
HALLANDALE BEACH, FL  
PROJECT ID - SUBMISSION NUMBER  
TENNIS BUILDING - FLOOR PLAN

SHEET TITLE  
ACAI  
ASSOCIATES, INC.  
ARCHITECTURE, ENGINEERING,  
ROOFING, CONSULTING,  
CONSTRUCTION MANAGEMENT

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ARCHITECT OF RECORD  
**16-030 G01**  
PROJECT NUMBER  
**A1-101**  
SHEET NUMBER



KEY PLAN  
N.T.S.

1 FLOOR PLAN - TENNIS BUILDING  
1/4" = 1'-0"

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**NORTH VIEW**  
N.T.S.



**SOUTH VIEW**  
N.T.S.

SUBMITTALS:	
PHASE	DATE
DRG SUBMITTAL	3.15.19

Revision Schedule		
Revision #	Revision Description	Revision Date

**PROJECT TEAM**  
**PROFESSIONAL IN CHARGE**  
 ADOLFO J. COTILLA, AIA  
 REGISTRATION NUMBER AR-000811  
 APPROVED BY AJC  
 DESIGNED BY DWGVG  
 DRAWN BY FL  
 CHECKED BY DW

DESIGN CONSULTANT

GOLDEN ISLES PARK  
 HALLANDALE BEACH, FL

CLIENT CODE/FILE NUMBER:  
 PROJECT ID - SUBMISSION NUMBER:

SITE RENDERS

SHEET TITLE

**ACA**  
 ASSOCIATION  
 OF ARCHITECTS  
 AND ENGINEERS  
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 www.a-ca.org

ARCHITECT OF RECORD

**16-030 G01**

PROJECT NUMBER

**A1-200**

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SECTION & ELEVATION KEYNOTE LEGEND	
KEY VALUE	DESCRIPTION
113	SIGNAGE
114	STRUCTURAL TUBE SUPPORT, SEE STRUCTURAL
115	BEAM, SEE STRUCTURAL
116	BEAM WRAPPED IN BREAK METAL SEPARATING STOREFRONT, SEE STRUCTURAL
130	STRUCTURAL TUBE COLUMNS, SEE STRUCTURAL DRAWINGS
132	TAPERED EDGE OF BEAM, SEE STRUCTURAL
160	SOLID SURFACE COUNTERTOP
191	TYPICAL STANDING SEAM METAL ROOF DECK W/ RIGID INSULATION, MIN R-25 AVERAGE, SEE STRUCTURAL DRAWINGS
192	PERFORATED METAL DECK BY EPIC METALS, ASSEMBLY BY SPECIALTY ENGINEER
193	ALUMINUM GUTTERS AND DOWNSPOUTS
217	STUCCO FINISH OVER MASONRY WALL WITH TEXCOTE PAINT, TYP.

EXTERIOR PAINT LEGEND		
ITEM	EXTERIOR PAINT COLOR	
P-1	WHITE	
P-2	SW 6900 - CENTER STAGE	
P-3	SW 6965 - HYPER BLUE	
P-4	RED	

SUBMITTALS:	
PHASE	DATE
DRG SUBMITTAL	3.15.19

REVISIONS		
Revision #	Description	Revision Date

PROJECT TEAM  
 PROFESSIONAL IN CHARGE  
 ADOLFO J. COTILLA, AIA  
 REGISTRATION NUMBER: AR-0000011  
 APPROVED BY: AJC  
 DESIGNED BY: DWG/GV  
 DRAWN BY: FL  
 CHECKED BY: DW

DESIGN CONSULTANT  
 GOLDEN ISLES PARK  
 HALLANDALE BEACH, FL

CLIENT CODE FILE NUMBER:  
 PROJECT ID - SUBMISSION NUMBER:  
 TENNIS BUILDING - EXTERIOR ELEVATIONS

SHEET TITLE

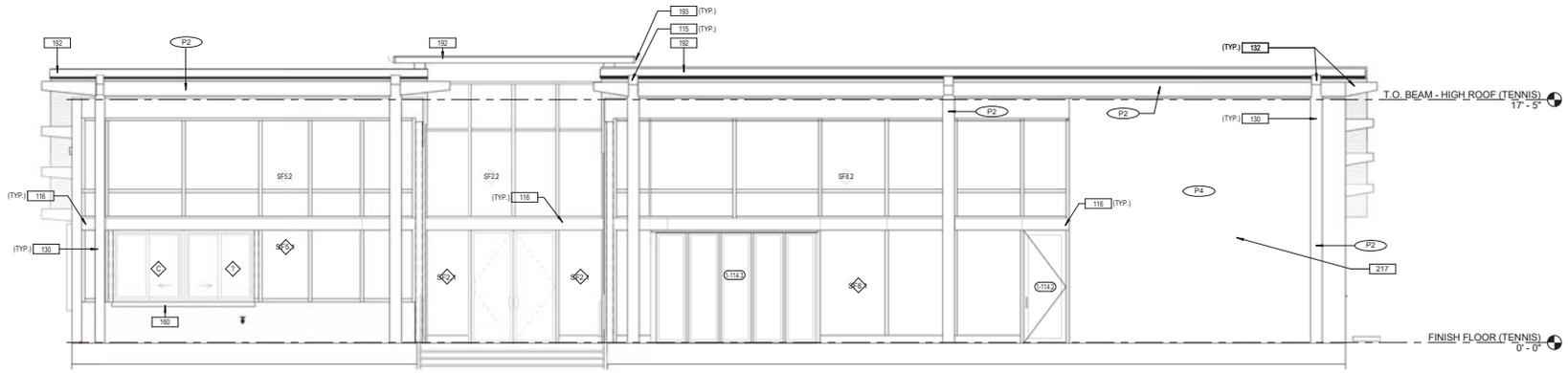
**ACAI**  
 a s s o c i a t e s , i n c  
 architecture - engineering  
 roofing - consulting  
 construction management

ARCHITECT OF RECORD  
**16-030 G01**  
 PROJECT NUMBER

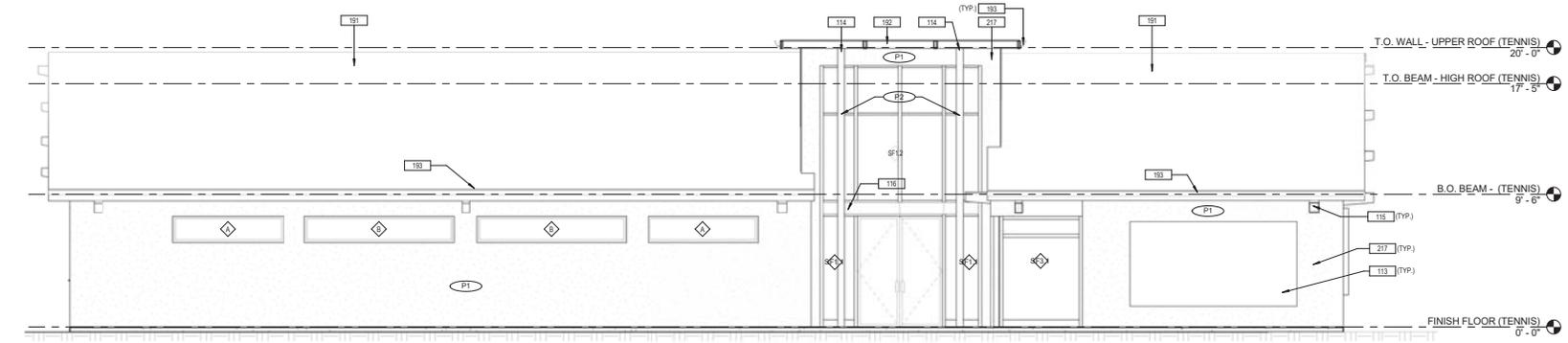
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 SHEET NUMBER

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**1** TENNIS-NORTH ELEVATION  
 1/4" = 1'-0"



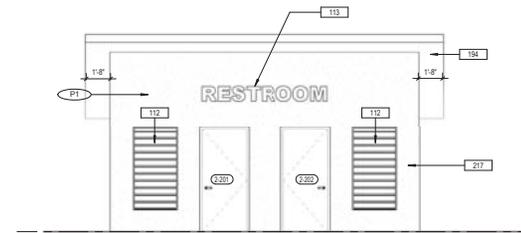
**3** TENNIS-SOUTH ELEVATION  
 1/4" = 1'-0"

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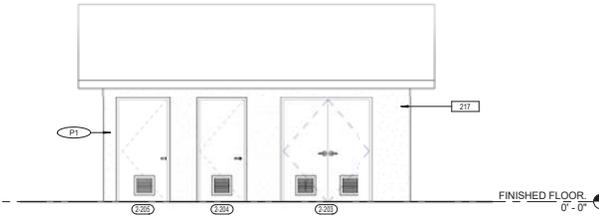
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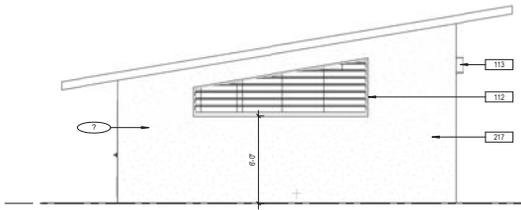




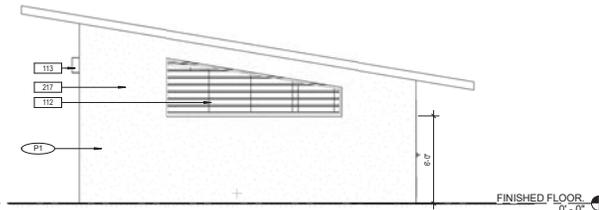
4 RESTROOM - WEST ELEVATION  
1/4" = 1'-0"



3 RESTROOM - EAST ELEVATION  
1/4" = 1'-0"



5 RESTROOM - NORTH ELEVATION  
1/4" = 1'-0"



2 RESTROOM - SOUTH ELEVATION  
1/4" = 1'-0"

TOILET ACCESSORIES SCHEDULE				
TAG	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
TA-01	Surface Mounted Seal Cover Dispenser	Bobrick Washroom Equipment, Inc.	B-421	
TA-02	Surface-Mounted Twin Jumbo-Roll Toilet Tissue Dispenser	Bobrick	B-282	Provide adequate backing in wall for support and comply to local codes for barrier-free requirements
TA-03	Surface-Mounted Sanitary Napkin Disposal	Bobrick Washroom Equipment, Inc.	B-254	
TA-04	Contura Series Surface Mounted Soap Dispenser	Bobrick Washroom Equipment, Inc.	B-4112	
TA-05	ADA Surface Mounted Hand Dryer	Bobrick	B-720 115V	
TA-06	Bobrick B-3693 TrimLine Series Recessed Combination Towel and Waste Unit	Bobrick Washroom Equipment, Inc.	B-3693	
TA-07	36" STAINLESS STEEL GRAB BAR			
TA-08	42" STAINLESS STEEL GRAB BAR			
TA-09	Glass Mirror with Stainless Steel Angle Frame	Bobrick Washroom Equipment, Inc.	B-2908 Series	
TA-10	Glass Mirror with Stainless Steel Angle Frame	Bobrick Washroom Equipment, Inc.	B-2908 Series	
TA-11	WALL MOUNTED STAINLESS STEEL COAT HOOK			C.F.C.I. PROVIDE CONCEALED BACKING TO COMPLY WITH FBC.
TA-12	AFWALL FixWise ELONGATED High Efficiency HET Toilet, wall hung vitreous china. EverClean antimicrobial surface which inhibits the growth of stain and odor causing bacteria, mold and mildew, elongated siphon jet flush action bowl, 2-1/8" (54mm) fully glazed internal trapway, 10" x 12" (254mm x 305mm) large water surface, 4.8 LPF (1.28 gal) per flush, 1-1/2" (38mm) top spud with condensate channel, for use with exposed flush valve.	American Standard	3351.001 (1.28)	
TA-13	Horizontal Wall Mounted Baby Changing Station	Bobrick	KR200-01SS	Available Colors include: Cream, Grey, White Granite, & Earth.
TA-14	Universal High-Efficiency Urinal Top Spud Vitreous China Wash Down Urinal.	SLOAN	SLI-1009-A	Provide 4" (102 mm) square electrical box for mounting sensor plate. Mount fixture at 17" (430mm) above finish floor to front rim of urinal (or as required to meet local codes)
TA-15	Wall-Hung Lavatory	American Standard	3355.012	

KEYNOTE LEGEND	
KEY VALUE	DESCRIPTION
112	IMPACT RESISTANT LOUVER, SEE MECHANICAL DRAWINGS
113	SIGNAGE
194	ALTERNATE TYPE A: SINGLE PLY (30 ML) WITH RIGID INSULATION/ MIN. R-25 AVG.
217	STUCCO FINISH OVER MASONRY WALL WITH TEXTCOE PAINT, TYP.

EXTERIOR PAINT LEGEND	
ITEM	EXTERIOR PAINT COLOR
P-1	WHITE
P-2	SW 6920 - CENTER STAGE
P-3	SW 6955 - HYPER BLUE
P-4	RED

SUBMITTALS	
PHASE	DATE
DRG SUBMITTAL	3.15.19

Revision Schedule		
Revision #	Revision Description	Revision Date

PROJECT TEAM  
PROFESSIONAL IN CHARGE  
ADOLFO J. COTILLA, AIA  
REGISTRATION - AR-0008011  
APPROVED BY - AJC  
DESIGNED BY - DWGGV  
DRAWN BY -

CHECKED BY - DW

DESIGN CONSULTANT  
GOLDEN ISLES PARK  
HALLANDALE BEACH, FL

CLIENT CODE FILE NUMBER:  
PROJECT ID - SUBMISSION NUMBER:  
RESTROOM BUILDING - SECTIONS & ELEVATIONS

SHEET TITLE

ACAI  
a s s o c i a t e s , i n c  
a r c h i t e c t u r e e n g i n e e r i n g  
r o o f i n g - c o n s u l t i n g  
c o n s t r u c t i o n m a n a g e m e n t

ARCHITECT OF RECORD  
16-030 G01

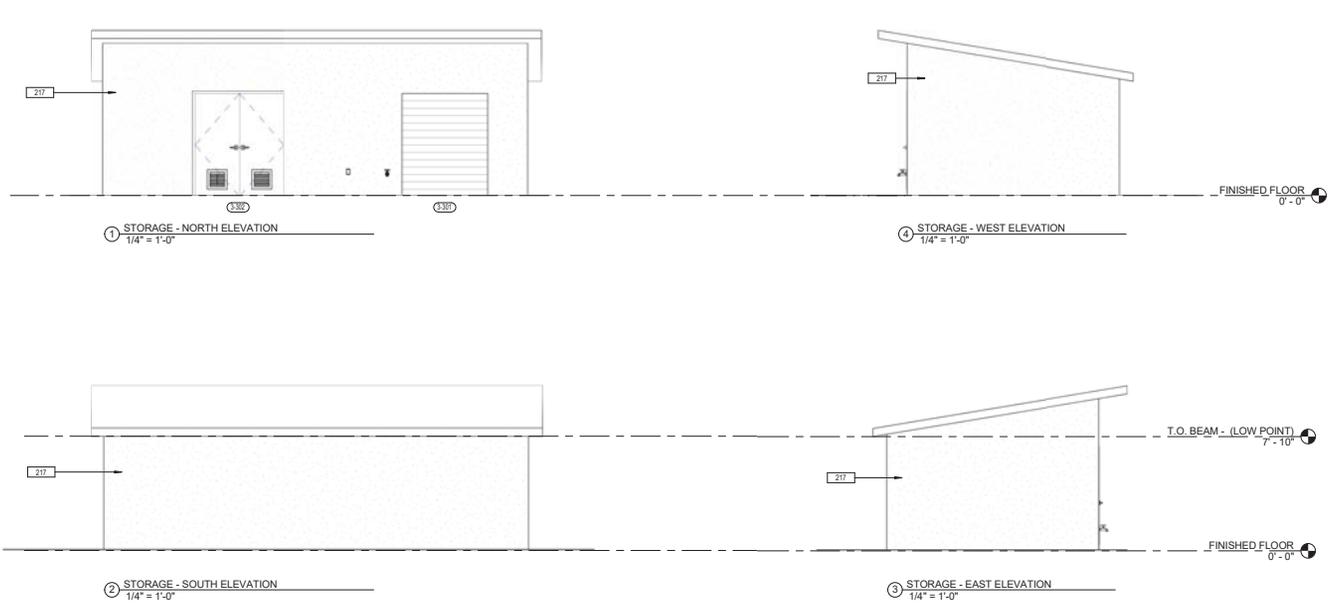
PROJECT NUMBER  
A2-201

SHEET NUMBER  
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KEYNOTE LEGEND	
KEY VALUE	DESCRIPTION
170	SURFACE MOUNTED LIGHT. SEE ELECTRICAL DRAWINGS.
191	TYPE A STANDING SEAM METAL ROOF DECK W/ RIGID INSULATION. MIN R-25 AVERAGE. SEE STRUCTURAL DRAWINGS.
194	ALTERNATE TYPE A: SINGLE PLY (90 MIL) WITH RIGID INSULATION/ MIN. R-25 AVG.
217	STUCCO FINISH OVER MASONRY WALL WITH TEXCOTE PAINT. TYP.

EXTERIOR PAINT LEGEND	
ITEM	EXTERIOR PAINT COLOR
P-1	WHITE
P-2	SW 6920 - CENTER STAGE
P-3	SW 6965 - HYPER BLUE
P-4	RED

SUBMITTALS:	
PHASE	DATE
DRG SUBMITTAL	3.15.19

REVISIONS		
Revision #	Description	Revision Date

PROJECT TEAM  
 PROFESSIONAL IN CHARGE  
 ADOLFO J. COTILLA, AIA  
 REGISTRATION NUMBER: AR-0008011  
 APPROVED BY: AJC  
 DESIGNED BY: DWG/DG  
 DRAWN BY: FL  
 CHECKED BY: DW

DESIGN CONSULTANT  
 GOLDEN ISLES PARK  
 HALLANDALE BEACH, FL  
 CLIENT CODE/FILE NUMBER:  
 PROJECT ID - SUBMISSION NUMBER:  
 STORAGE BUILDING - ELEVATIONS

SHEET TITLE

**ACAI**  
 a s s o c i a t e s , i n c  
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ARCHITECT OF RECORD  
**16-030 G01**  
 PROJECT NUMBER  
**A3-201**  
 SHEET NUMBER

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