



CENTER FOR COLLABORATIVE ARCHITECTURE

1424 SW 23 St, Miami, FL 33145
 Ph: 786-487-3724
 Email: general@ccadesign.net
 AA26001348

ARCHITECT SEAL:
 JORGE CASTRO CALOU - AR97469



OWNER: LEISURE APARTMENTS INC
 215 SE 4TH ST
 HALLANDALE BEACH, FL 33009

NO.	DRAWING ISSUE	DATE
	DRC MEETING	04-20-20



LEISURE APARTMENTS
 215 SE 4TH ST,
 HALLANDALE BEACH,
 FLORIDA 33009

PROJECT INFO:

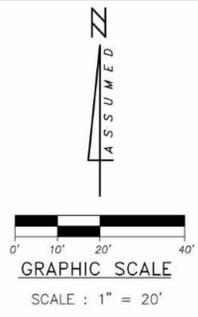
PROPERTY SURVEY

DRAWING INFO:

DATE: 04-06-2020
 DRAWN: G.P., J.S., M.P.
 CHECKED: J.S.
 SCALE: AS SHOWN
 FIELD BOOK: ON FILE
 SHEET 2 OF 2

Project number
 Drawn by
 Scale

BOUNDARY SURVEY



ABBREVIATIONS

- A Arc Length
- A/C Air Conditioner Pad
- ASPH Asphalt
- B.M. Benchmark
- C.B.S. Concrete Block Structure
- C.C. Curb & Gutter
- C/L Center Line
- C.L.F. Chain Link Fence
- CONC. Concrete
- C.S. Concrete Slab
- D.W. Driveway
- E.O.W. Edge of Water
- E.T.P. Electric Transformer Pad
- F.F.E. Finished Floor Elevation
- F.I.P. Found Iron Pipe
- F.N. Found Nail
- F.N.D. Found Nail & Disc
- F.R. Found Rebar
- ID. Identification
- INV. Inverts
- L.F.E. Lowest Floor Elevation
- M/L Monument Line
- P.B. Plat Book
- P.C.P. Permanent Control Point
- PG. Page
- PL. Planter
- P/L Property Line
- P.O.B. Point of Beginning
- P.O.C. Point of Commencement
- P/S Parking Spaces
- P.R.M. Permanent Reference Monument
- R/W Right-of-Way Line
- SWK. Sidewalk
- T.B.M. Temporary Benchmark
- T.O.B. Top of Bank
- U.E. Utility Easement
- V.G. Valley Gutter
- W.F. Wood Fence
- (TYP.) Typical
- (R) Recorded
- (C) Calculated

TREE LEGEND

- | SYMBOL | COMMON NAME |
|--------|------------------------|
| ● | Tree (Species unknown) |
| ★ | Palm Tree |
| ○ | Oak Tree |
| ✱ | Areca Tree |
| ☉ | Coconut Palm |
| ☿ | Mango Tree |
| ♋ | Pine Tree |
| ♌ | Plantain Tree |
| ♍ | Gumbo-Limbo |
| ♎ | Mahogany |
| ♏ | Royal Poinciana |
| ♐ | Umbrella Tree |
- * Tree types are determined to the best of our ability and should be confirmed by botanist or a trained specialist.

LEGEND

- | | | | |
|-----|------------------------|---|--------------------------|
| ⊘ | Diameter | ⊠ | Parking Meter |
| BNH | Back Flow Preventer | ⊡ | Unknown Manhole |
| CLP | Concrete Light Pole | ⊢ | Sewer Valve |
| MLP | Metal Light Pole | ⊣ | Mail Box |
| — | Guy Wire | ⊤ | Spot Elevation |
| — | Utility Power Pole | ⊥ | Temporary Benchmark |
| — | Fire Hydrant | ⊦ | Diameter-Height-Spread |
| — | Water Meter | — | Right-of-Way Lines |
| — | Electric Box | — | Property Corner |
| — | Telephone Box | — | Traffic Sign |
| — | Sewer Manhole | — | Catch Basin |
| — | Overhead Utility Lines | — | Drainage Manhole |
| — | Light Pole | — | Wood Fence |
| — | Gas Valve | — | Iron Fence |
| — | Water Valve | — | Irrigation Control Valve |
| — | Water Manhole | — | C.B.S. Wall |
| — | Telephone Manhole | — | Clean Out |
| — | Monitoring Well | — | Guard Pole |
| — | Chain Link Fence | — | Water Pump |
| — | Air Conditioning | | |

Point Number	Name	#(FT) - HGT.(FT) - SP.(FT)
11	PALM	0.40'-22'-12"
12	PALM	0.40'-22'-12"
13	PALM	0.40'-22'-12"
14	PALM	0.40'-22'-12"
15	PALM	0.40'-22'-12"
16	PALM	0.40'-22'-12"
17	PALM	0.40'-22'-12"
18	TREE	5'-30'-25"
19	PALM	1'-22'-15"
20	PALM	1'-22'-15"
21	PALM	1'-18'-15"
22	PALM	1'-18'-15"
23	PALM	1'-25'-15"
24	PALM	1'-16'-15"
25	PALM	1'-20'-15"
26	PALM	0.30'-18'-10"
27	PALM	0.30'-18'-10"
28	PALM	0.30'-18'-10"
29	PALM	0.20'-10'-8"

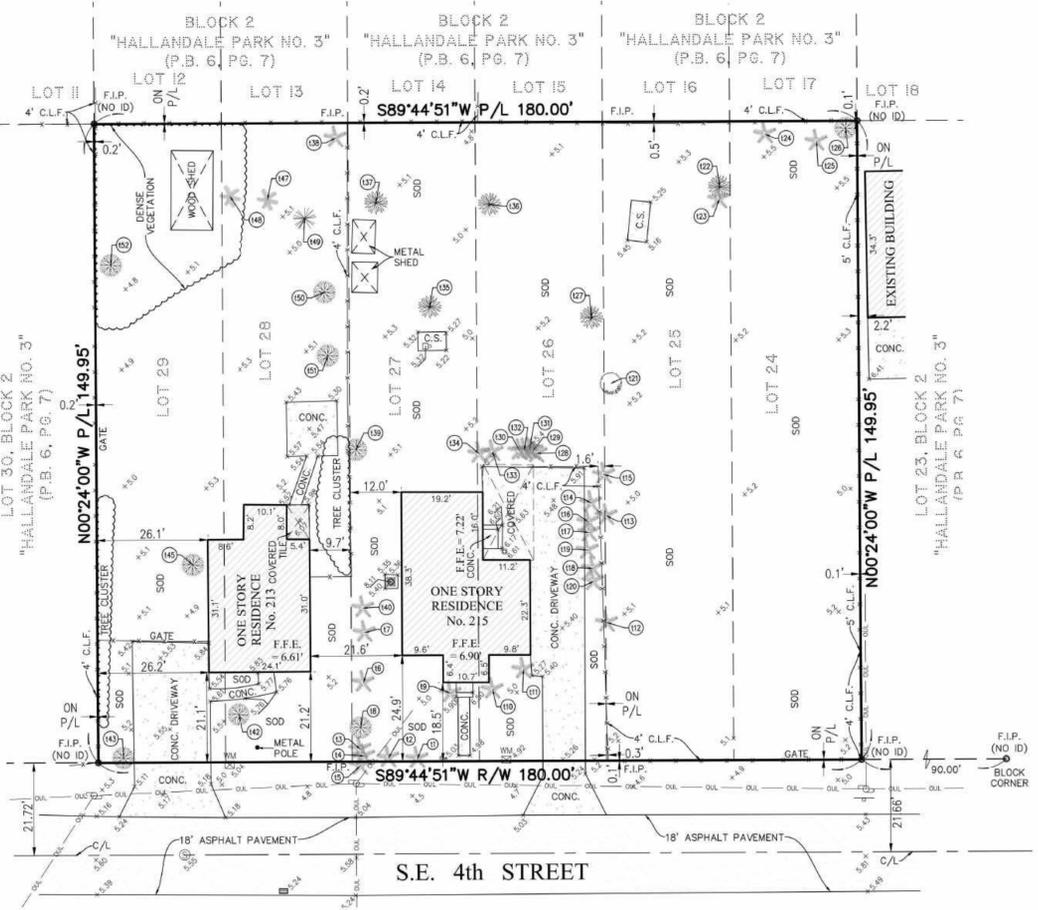
Point Number	Name	#(FT) - HGT.(FT) - SP.(FT)
120	PALM	0.30'-5'-6"
121	OAK	3'-45'-50"
122	MANGO	1.50'-25'-20"
123	PALM	1'-22'-15"
124	PALM	1'-22'-15"
125	PALM	1'-21'-15"
126	TREE	0.80'-25'-15"
127	MANGO	1.50'-40'-25"
128	PALM	0.40'-20'-12"
129	PALM	0.40'-20'-12"
130	PALM	0.40'-20'-12"
131	PALM	0.60'-10'-10"
132	PALM	1'-25'-15"
133	PALM	1'-22'-15"
134	PALM	0.20'-12'-10"
135	MANGO	1.30'-25'-20"
136	MANGO	1.50'-25'-20"
137	MANGO	1.50'-25'-20"
138	PALM	1'-25'-12"

Point Number	Name	#(FT) - HGT.(FT) - SP.(FT)
139	TREE	0.40'-12'-10"
140	PALM	0.40'-12'-8"
141	TREE	1'-18'-15"
142	TREE	1.30'-30'-30"
143	TREE	0.50'-18'-10"
144	TREE	BUSH--"
145	TREE	2'-20'-15"
146	TREE	BUSH--"
147	PINE TREE	1.50'-60'-15"
148	PINE TREE	1.50'-60'-15"
149	ARECAS	3'-30'-28"
150	TREE	0.90'-30'-15"
151	TREE	2'-15'-25"
152	TREE	1.30'-25'-25"
153	TREE	BUSH--"
154	TREE	BUSH--"
155	TREE	BUSH--"



Oria J Suarez
 Digitally signed
 Date: 2020.04.20
 15:42:00 -04'00'

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ORIA J SUAREZ, P.S. ON THE DATE ADJACENT TO THE SEAL.
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED VALID UNLESS THEY ARE SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



J. Bonfill & Associates, Inc.
 REGISTERED LAND SURVEYORS & MAPPERS
 Florida Certificate of Authorization LB3398
 7100 S.W. 99th Avenue Suite 104
 Miami, Florida 33173 (305) 598-8383

BOUNDARY SURVEY
 of
 215 S.E. 4th STREET - HALLANDALE BEACH,
 BROWARD COUNTY, FLORIDA 33009
 for
 LEISURE APARTMENTS, INC.

REVISIONS	BY



CENTER FOR COLLABORATIVE ARCHITECTURE

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ARCHITECT SEAL:
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HALLANDALE, FL 33009

NO.	DRAWING ISSUE	DATE
	DRC MEETING	04-20-20
△	DRC COMMENTS	06-23-20



06 RENDERING
SCALE: NTS



08 RENDERING
SCALE: NTS



16 RENDERING
SCALE: NTS



18 RENDERING
SCALE: NTS



LEISURE APARTMENTS
215 SE 4TH ST,
HALLANDALE BEACH,
FLORIDA 33009

PROJECT INFO:

RENDERINGS

DRAWING INFO:

NOTES:
ARCHITECT RENDERINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONAL DRAWINGS. THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THE DRAWINGS SHALL BE MADE BY THE ARCHITECT. ANY CHANGES TO THE DRAWINGS SHALL BE MADE BY THE ARCHITECT. ANY CHANGES TO THE DRAWINGS SHALL BE MADE BY THE ARCHITECT.

DATE: 06/23/2020
PROJECT: LEISURE APARTMENTS AT HALLANDALE BEACH

Project number	
Drawn by	
Scale	



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06 RENDERING
SCALE: NTS



08 RENDERING
SCALE: NTS



16 RENDERING
SCALE: NTS



18 RENDERING
SCALE: NTS



LEISURE APARTMENTS
215 SE 4TH ST,
HALLANDALE BEACH,
FLORIDA 33009

PROJECT INFO:

RENDERINGS

DRAWING INFO:

NOTES:
ARCHITECT DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED RENDERINGS.
CONTRACTOR SHALL VERIFY ALL MEASUREMENTS FOR ALL DIMENSIONS AND FINISHES AT THE FIELD AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
RENDERINGS FROM THE ARCHITECT ARE FOR INFORMATION ONLY AND SHALL NOT BE USED FOR CONSTRUCTION PURPOSES WITHOUT THE ARCHITECT'S APPROVAL.

Project number _____
Drawn by _____
Scale _____

SITE & BUILDING INFORMATION

1) ZONING:	DISTRICT CENTRAL RAC - SUB DISTRICT TRANSIT CORE																																																		
2) GROSS LOT AREA:	26,990 S.F. (INCL. DEDICATION) 0.620 ACRES (INCL. DEDICATION)																																																		
3) DENSITY:	BASE DENSITY	18.00 DU/AC =	11.16 DU																																																
	MAX. DENSITY	50.00 DU/AC =	31.00 DU																																																
	PROPOSED DENSITY	39.62 DU/AC =	24.00 DU																																																
4) SETBACKS	REQUIRED	PROVIDED																																																	
FRONT*	10'-0"	10'-0" (BALC.) 11'-6" (BUILD.)																																																	
SIDE	0'-0"	1'-0" (@ STAIRS) 4'-0" (@ UNITS)																																																	
REAR	10'-0"	65'-0" (BALC)																																																	
5) LANDSCAPE AREA	REQUIRED	PROVIDED																																																	
	5%	17.83%																																																	
	1,349.50	4,706.00																																																	
6) BUILDING HEIGHT	ALLOWED	PROVIDED																																																	
	5 STORIES	3 STORIES																																																	
7) PARKING CALCULATIONS	<table border="1"> <tr> <th>Unit Type</th> <th>#Units</th> <th>Parking/Unit</th> <th>Total Parking</th> </tr> <tr> <td>2 Bed</td> <td>6</td> <td>1.75</td> <td>10.50</td> </tr> <tr> <td>1 Bed</td> <td>18</td> <td>1.25</td> <td>22.50</td> </tr> <tr> <td>Efficiency</td> <td>0</td> <td>1.00</td> <td>0.00</td> </tr> <tr> <td></td> <td>24</td> <td></td> <td>33.00</td> </tr> <tr> <td colspan="4">Guest Parking</td> </tr> <tr> <td>1st 20 Units</td> <td>20</td> <td>0.5</td> <td>10</td> </tr> <tr> <td>21 to 51 Units</td> <td>4</td> <td>0.3</td> <td>1.2</td> </tr> <tr> <td></td> <td></td> <td></td> <td>11.2</td> </tr> <tr> <td colspan="3">Total Parking Units + Guest Required</td> <td>44.2</td> </tr> <tr> <td colspan="3">Total Parking Units + Guest Provided</td> <td>45</td> </tr> <tr> <td colspan="3">HC Parking Included</td> <td>2</td> </tr> </table>			Unit Type	#Units	Parking/Unit	Total Parking	2 Bed	6	1.75	10.50	1 Bed	18	1.25	22.50	Efficiency	0	1.00	0.00		24		33.00	Guest Parking				1st 20 Units	20	0.5	10	21 to 51 Units	4	0.3	1.2				11.2	Total Parking Units + Guest Required			44.2	Total Parking Units + Guest Provided			45	HC Parking Included			2
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Total Parking Units + Guest Required			44.2																																																
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HC Parking Included			2																																																
8) BUILDING MIX	Efficiency	1Bed	2 Bed	Units/Floor																																															
1st level	0	0	2	2																																															
2nd level	0	9	2	11																																															
3rd level	0	9	2	11																																															
Total Units	0	18	6	24																																															

PROPERTY INFORMATION

LOT A
 PROPERTY ADDRESS
 213 SE 4TH STREET, HALLANDALE BEACH, FL 33009
 FOLIO_NBR_514227160290
 LEGAL DESCRIPTION
 HALLANDALE PARK NO 3 6-7 B LOT 28,29 BLK 2

LOT B
 PROPERTY ADDRESS
 215 SE 4TH STREET, HALLANDALE BEACH, FL 33009
 FOLIO_NBR_514227160280
 LEGAL DESCRIPTION
 HALLANDALE PARK NO 3 6-7 B LOT 26,27 BLK 2

LOT C
 PROPERTY ADDRESS
 SE 4TH STREET, HALLANDALE BEACH, FL 33009
 FOLIO_NBR_514227160271
 LEGAL DESCRIPTION
 HALLANDALE PARK NO 3 6-7 B LOT 24 & 25 BLK 2

PROJECT SCOPE

THE PROPOSED DEVELOPMENT IS A BUILD-UP OF A 24 UNIT, THREE STORY, MULTIFAMILY BUILDING WITH A TOTAL GROSS AREA OF 34,885 S.F. AND AN OFF-STREET PARKING CAPACITY OF 45 SPACES.

THE UNITS WILL BE ADJACENT TO THE STREET SIDE WHILE THE OFF STREET PARKING IS LOCATED IN THE INTERIOR OF THE LOT ACCESSIBLE BY TWO SINGLE-WAY ACCESS DRIVEWAYS.

BUILDING CODE SUMMARY

- FLORIDA BUILDING CODE, BUILDING; 2017 6th EDITION
- FLORIDA BUILDING CODE, PLUMBING; 2017 6th EDITION
- FLORIDA BUILDING CODE, MECHANICAL; 2017 6th EDITION
- FLORIDA BUILDING CODE, FUEL AND GAS; 2017 6th EDITION
- FLORIDA FIRE PREVENTION CODE; 6th EDITION
- NFPA 70 NATIONAL ELECTRICAL CODE; NEC 2015 EDITION
- NFPA 101, LIFE SAFETY CODE, 2015 EDITION
- FLORIDA STATE STATUTES, 2017

SITE PLAN NOTES

FOR ADDITIONAL SITE PLAN INFORMATION PLEASE SEE:
 1) CIVIL DRAWINGS
 2) LANDSCAPE DRAWINGS

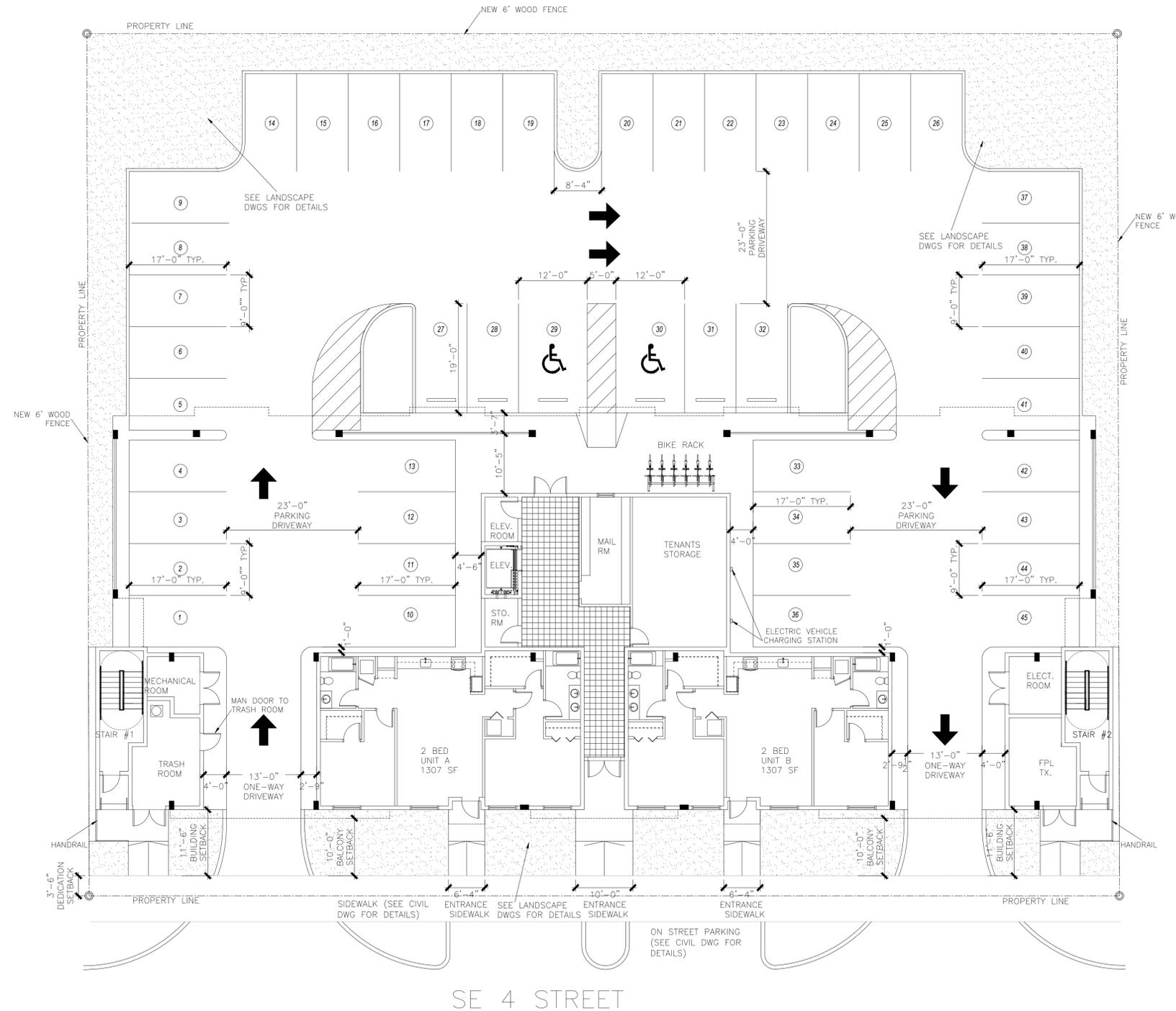
FOR BUILDING BALCONIES DETAILS PLEASE SEE A102 AND A104

UNIT AREA INFORMATION

Floor	Unit #	2B/2B	1B/1B	Balcony	Total
Ground Floor	A	1,307			1,307
	B	1,307			1,307
2nd Level	A		931	49	980
	B		768	50	818
	C		768	50	818
	D		768	50	818
	E		768	50	818
	F		931	49	980
	G	1,225		49	1,274
	H		768	50	818
	I		900	49	949
	J		900	49	949
	K	1,225		49	1,274
3rd Level	A		931	49	980
	B		768	50	818
	C		768	50	818
	D		768	50	818
	E		768	50	818
	F		931	49	980
	G	1,225		49	1,274
	H		768	50	818
	I		900	49	949
	J		900	49	949
	K	1,225		49	1,274
Total		7,514	15,004	1,088	23,606

BUILDING AREA PER LEVEL

Floor	Total Units	Balconies	Corr./Lobby	Stair & Elev	MEP/Sto	Garage	Totals
Ground FL	2,614	0	1,123	520	1,042	6,019	11,318
2nd FL	9,952	544	1,082	365	107	0	12,050
3rd FL	9,952	544	1,082	365	107	0	12,050
Roof							
Total	22,518	1,088	3,287	1,250	1,256	6,019	35,418



18 SITE PLAN / LEVEL 1 - ELEV. 0'-0"
 SCALE: 3/32"=1'-0"

FOR REVIEWING AUTHORITY USE



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	DRC COMMENTS	06-29-20



LEISURE APARTMENTS
 215 SE 4TH ST,
 HALLANDALE BEACH,
 FLORIDA 33009

PROJECT INFO:

DRAWING INFO:

WHEN EXAMINING SHALL HAVE PRECEDENCE OVER ALL OTHER DRAWINGS.
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF ALL MATERIALS AND CONDITIONS OF ALL MATERIALS AND CONDITIONS OF ALL MATERIALS.
 DIMENSIONS SHALL BE AS SHOWN ON THIS OFFICE FOR APPROVAL. NOT FOR CONSTRUCTION.

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SITE PLAN & ZONING DATA



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LEISURE APARTMENTS 215 SE 4TH ST, HALLANDALE BEACH, FLORIDA 33009

PROJECT INFO:

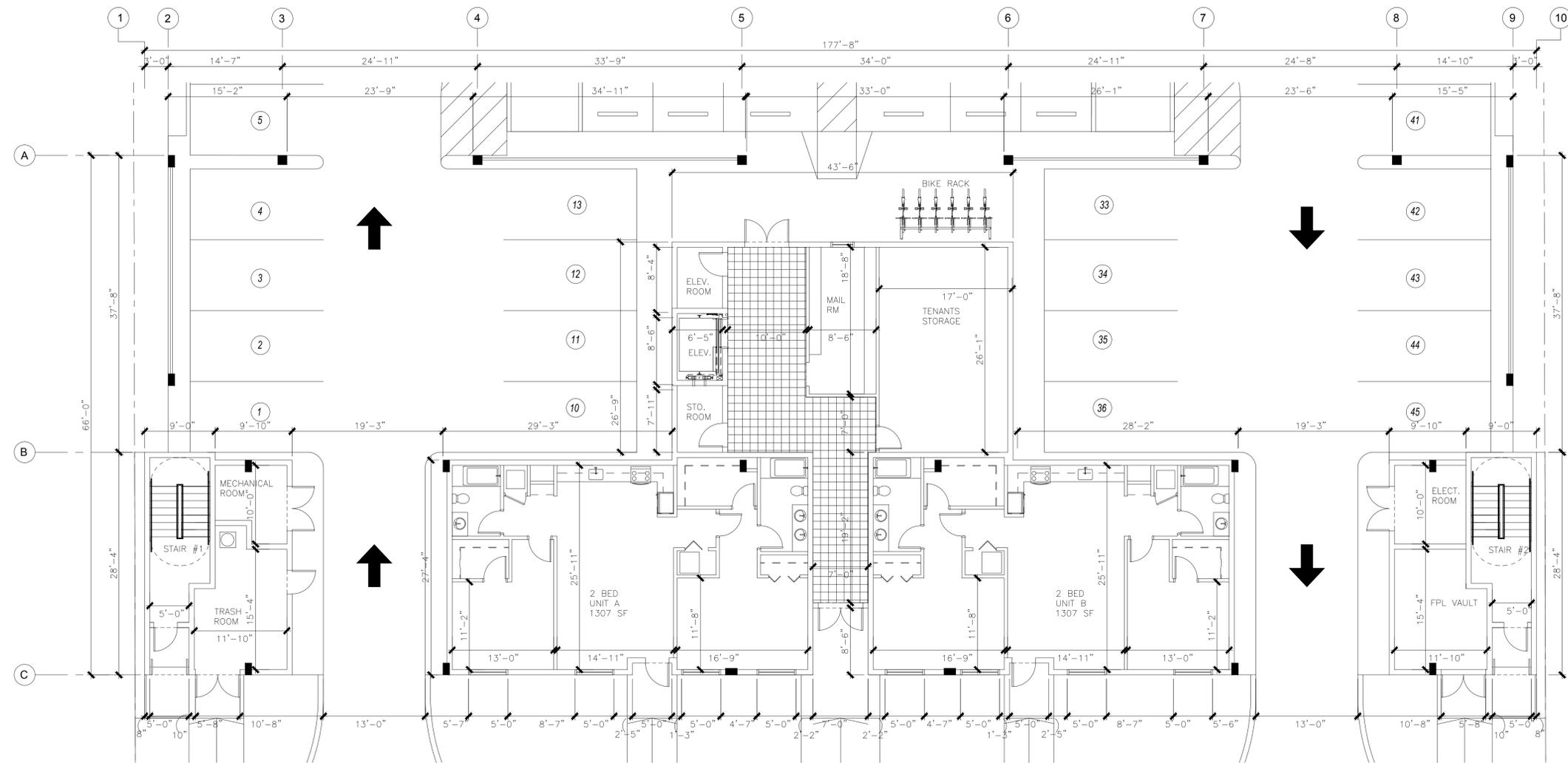
FLOOR PLAN LEVEL 1

DRAWING INFO:

NOTE:
WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
CONSTRUCTION SHALL VERIFY ALL DIMENSIONS FOR ACCURACY AND CORRECTNESS.
ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
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Project number
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Scale

A1.01



16 LEVEL 1 - ELEV. 0'-0"

SCALE: 1/8"=1'-0"





CENTER FOR COLLABORATIVE ARCHITECTURE

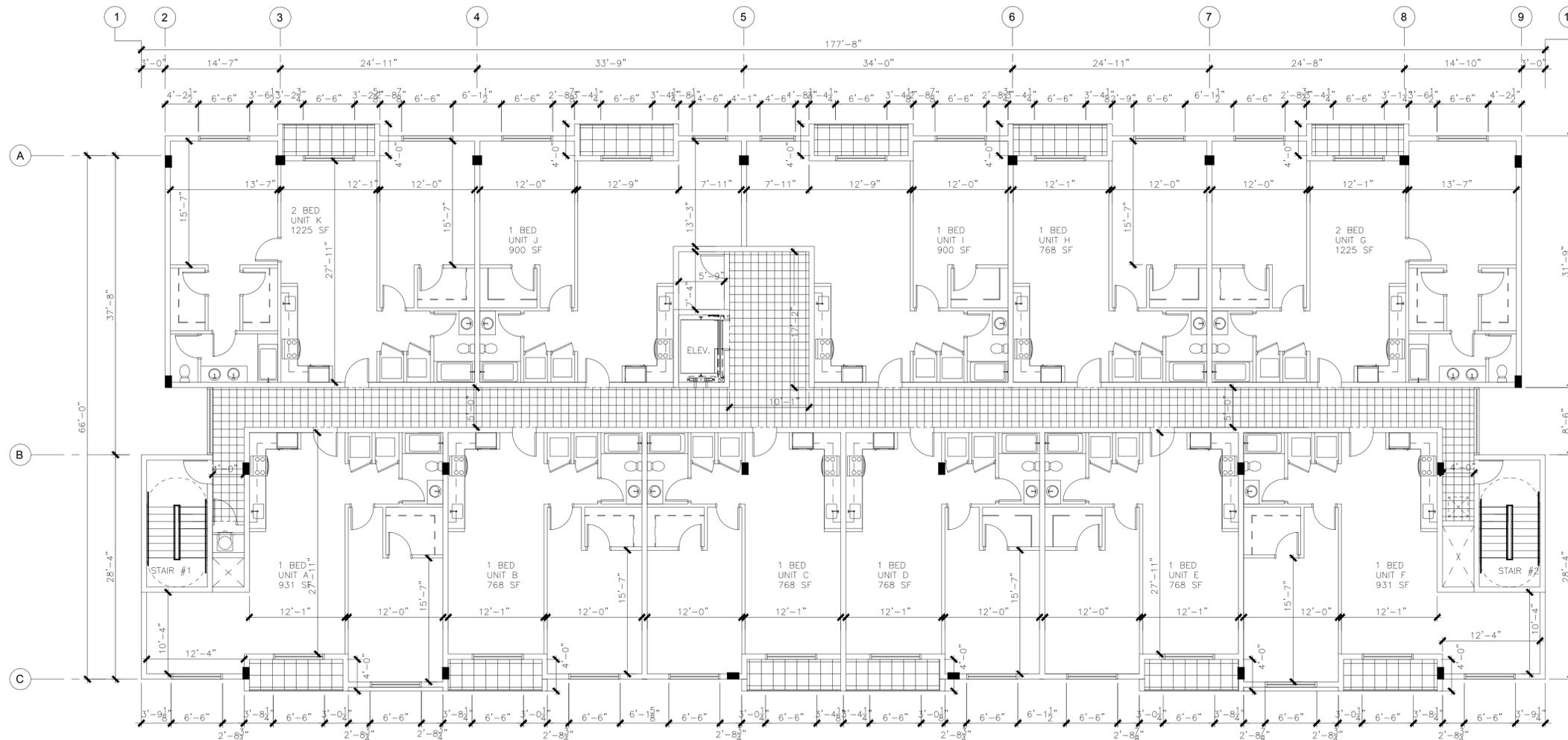
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LEISURE APARTMENTS
215 SE 4TH ST,
HALLANDALE BEACH,
FLORIDA 33009

PROJECT INFO:

FLOOR PLAN
LEVEL 2 & 3

DRAWING INFO:

NOTE:
UPON EXAMINATION SHALL HAVE PRECEDENCE OVER ALL OTHER DRAWINGS.
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NOT THE ARCHITECT.
ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
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Drawn by
Scale

16 LEVEL 2-3 FLOOR PLAN - ELEV. +14'-0" - +23'-0"
SCALE: 1/8"=1'-0"





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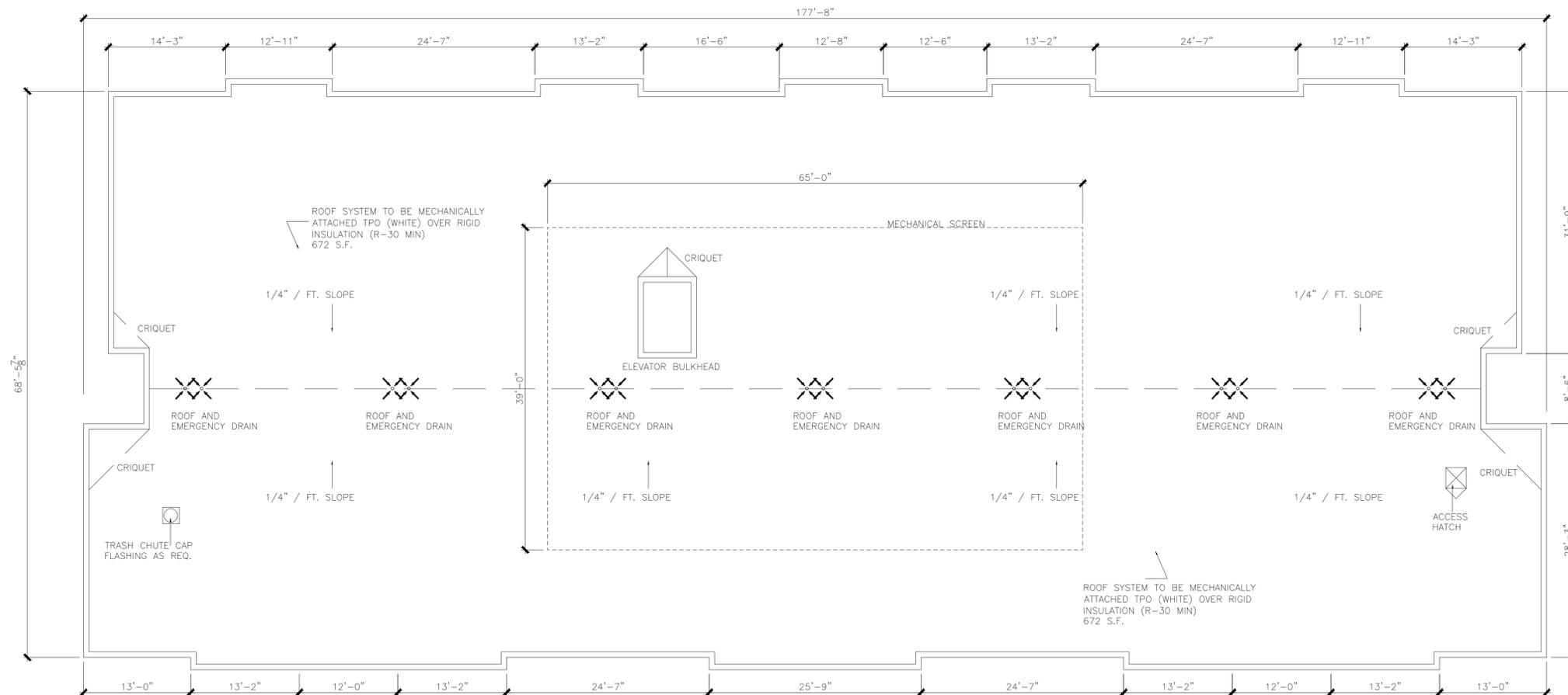
PROJECT INFO:

**ROOF PLAN
 LEVEL 4**

DRAWING INFO:

NOTE:
 ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALED DIMENSIONS.
 CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR THE DIMENSIONS AND CONDITIONS OF THE WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY UPON DETECTION OF ANY DISCREPANCIES FROM THE DIMENSIONS AND CONDITIONS OF THE WORK DRAWINGS.

DATE: 06/29/2020
 PROJECT: LEISURE APARTMENTS AT HALLANDALE BEACH
 DRAWING: ROOF PLAN LEVEL 4
 PROJECT NUMBER:
 DRAWN BY:
 SCALE:



16 LEVEL 4 ROOF PLAN - ELEV. 33'-6"
 SCALE: 1/8"=1'-0"





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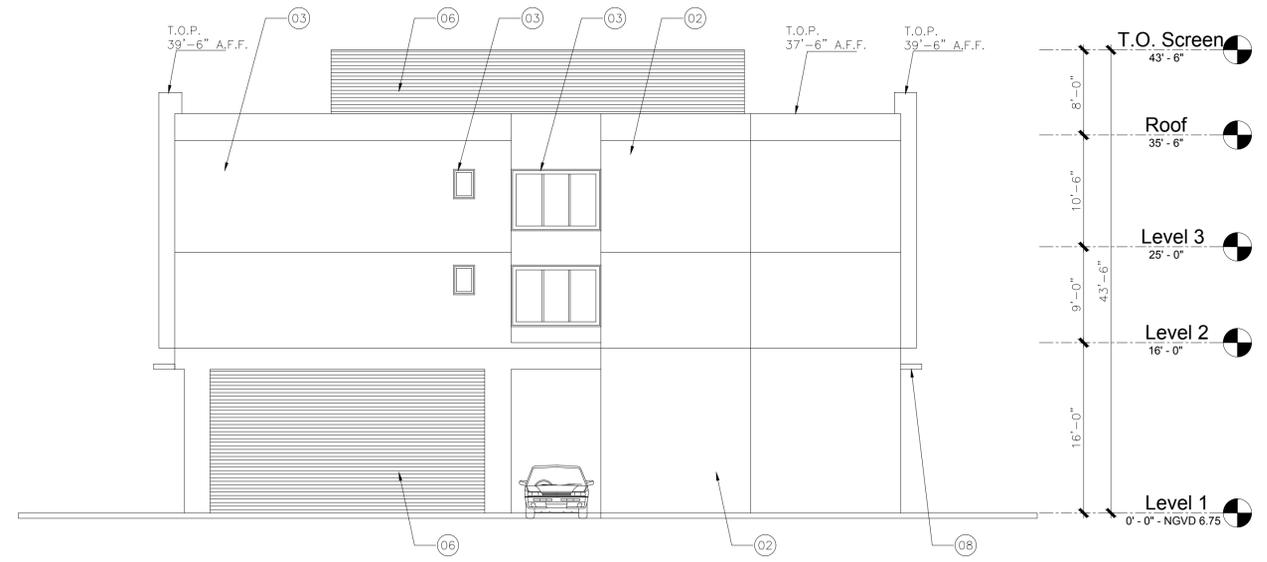


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06 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



16 WEST ELEVATION
SCALE: 1/8"=1'-0"

- 01 NICHHA SYSTEM - VINTAGEWOOD PANEL
- 02 SMOOTH STUCCO PAINTED WHITE
- 03 WHITE FRAME IMPACT FIXED WINDOW
- 04 WHITE FRAME ALUMINUM IMPACT SLIDING WINDOWS (TYP.)
- 05 WHITE 42" ALUMINUM RAILING (TYP.)
- 06 LIGHT BRONZE ALUMINUM LOUVER
- 07 1'-2" X 5'-0" SIGNAGE OVER GARAGE ENTRANCE
- 08 SMOOTH STUCCO OVERHANG PAINTED GREY
- 09 1'-2" X 7'-6" SIGNAGE OVER LOBBY ENTRANCE

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LEISURE APARTMENTS
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EXTERIOR ELEVATIONS



CENTER FOR COLLABORATIVE ARCHITECTURE

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 Email: general@ccadesign.net
 AA26001348

ARCHITECT SEAL:
 JORGE CASTRO CALOU - AR97469



OWNER: LEISURE APARTMENTS INC
 215 SE 4TH ST
 HALLANDALE, FL 33009

NO.	DRAWING ISSUE	DATE
	DRC MEETING	04-20-20
	DRC COMMENTS	06-29-20



LEISURE APARTMENTS
 215 SE 4TH ST,
 HALLANDALE BEACH,
 FLORIDA 33009

PROJECT INFO:

EXTERIOR ELEVATIONS

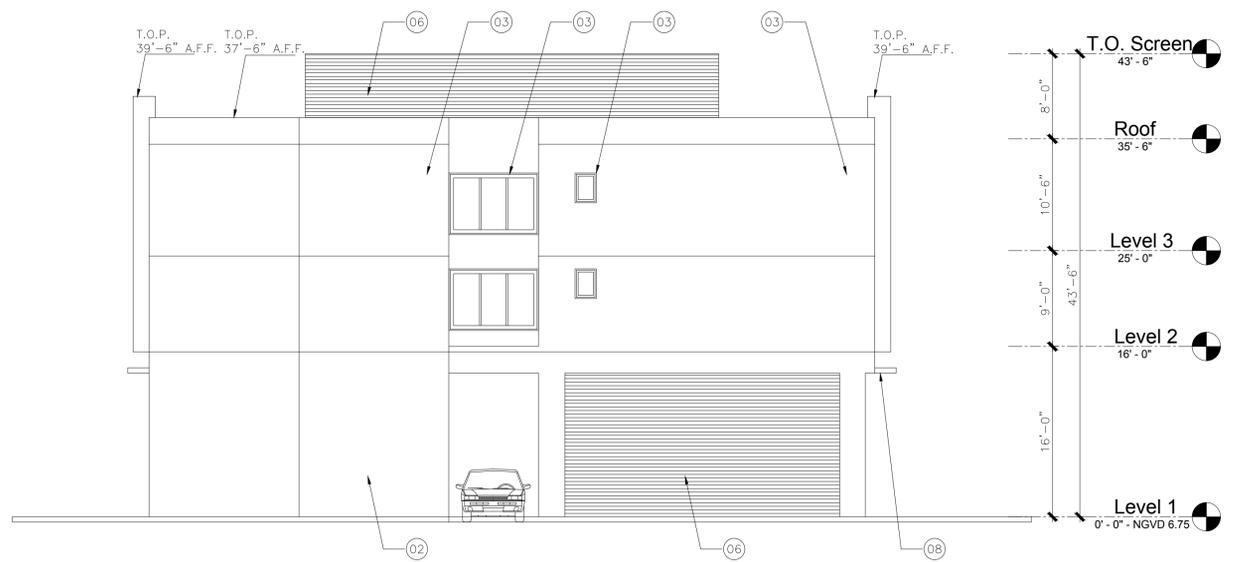
DRAWING INFO:

NOTE:
 WRITER DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
 CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS.
 ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
 ALL DIMENSIONS SHALL BE IN UNITS OF FEET AND INCHES UNLESS OTHERWISE SPECIFIED.
 DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
 DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE SPECIFIED.
 DIMENSIONS SHALL BE TO EDGE UNLESS OTHERWISE SPECIFIED.
 DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE SPECIFIED.
 DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE SPECIFIED.
 DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE SPECIFIED.

Project number _____
 Drawn by _____
 Scale _____



06 NORTH ELEVATION
 SCALE: 1/8"=1'-0"



16 EAST ELEVATION
 SCALE: 1/8"=1'-0"

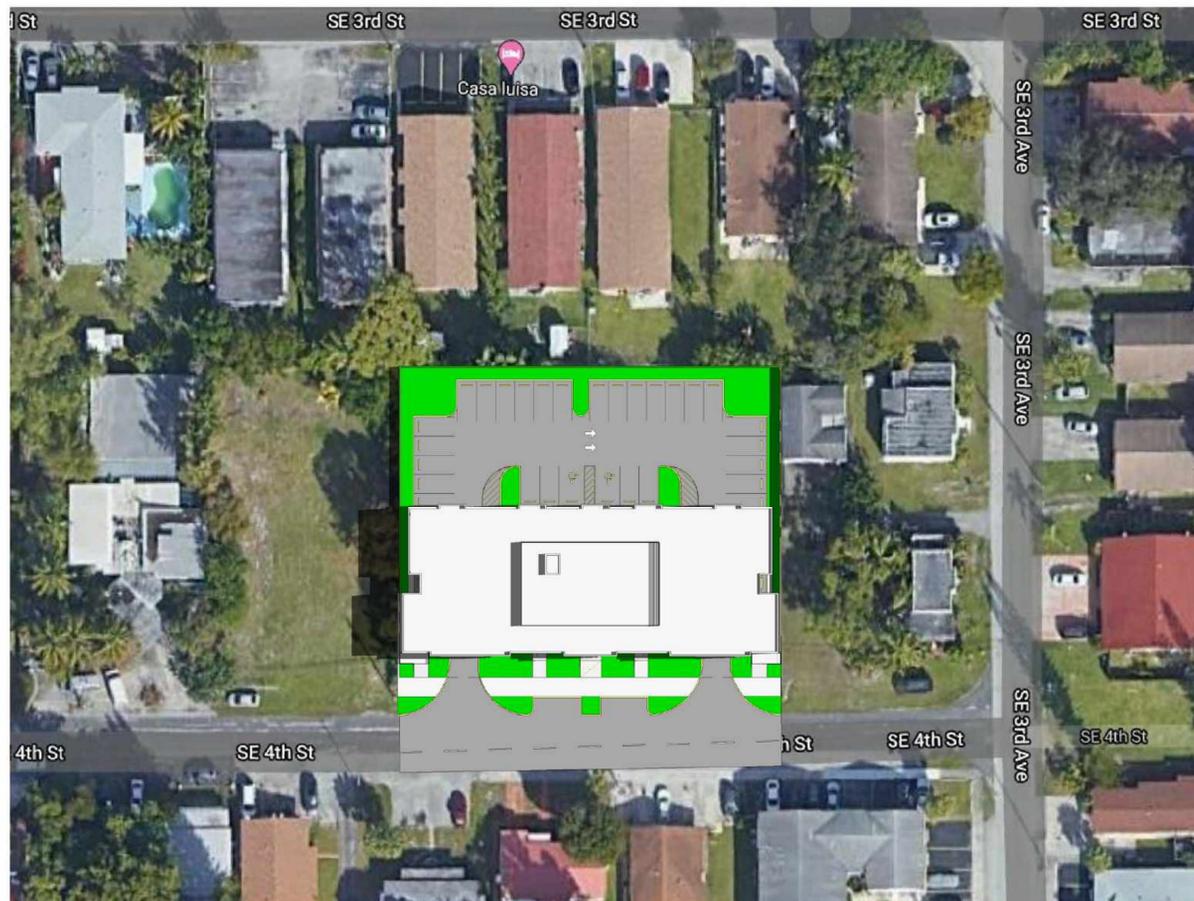
- 01 NICHIA SYSTEM - VINTAGEWOOD PANEL
- 02 SMOOTH STUCCO PAINTED WHITE
- 03 WHITE FRAME IMPACT FIXED WINDOW
- 04 WHITE FRAME ALUMINUM IMPACT SLIDING WINDOWS (TYP.)
- 05 WHITE 42" ALUMINUM RAILING (TYP.)
- 06 LIGHT BRONZE ALUMINUM LOUVER
- 07 1'-2" X 5'-0" SIGNAGE OVER GARAGE ENTRANCE
- 08 SMOOTH STUCCO OVERHANG PAINTED GREY
- 09 1'-2" X 7'-6" SIGNAGE OVER LOBBY ENTRANCE



② Winter Solstice Solar Study
1" = 40'-0"



④ Spring Equinox Solar Study
1" = 40'-0"



③ Summer Solstice Solar Study
1" = 40'-0"



① Fall Equinox Solar Study
1" = 40'-0"



No.	Description	Date

LEISURE APARTMENTS

PROJECT INFO:

DRAWING INFO:

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

A803

Scale 1" = 40'-0"



CENTER FOR COLLABORATIVE ARCHITECTURE

1424 SW 23 St, Miami, FL 33145
 Ph: 786-487-3724
 Email: general@ccadesign.net
 AA26001348



OWNER: **LEISURE APARTMENTS INC**
 215 SE 4TH ST
 HALLANDALE, FL 33009

NO.	DRAWING ISSUE	DATE
	DRC MEETING	04-20-20
	DRC COMMENTS	06-28-20



LEISURE APARTMENTS
 215 SE 4TH ST,
 HALLANDALE BEACH,
 FLORIDA 33009

PROJECT INFO:

**PHOTOMETRICS
 NORMAL
 LIGHTING**

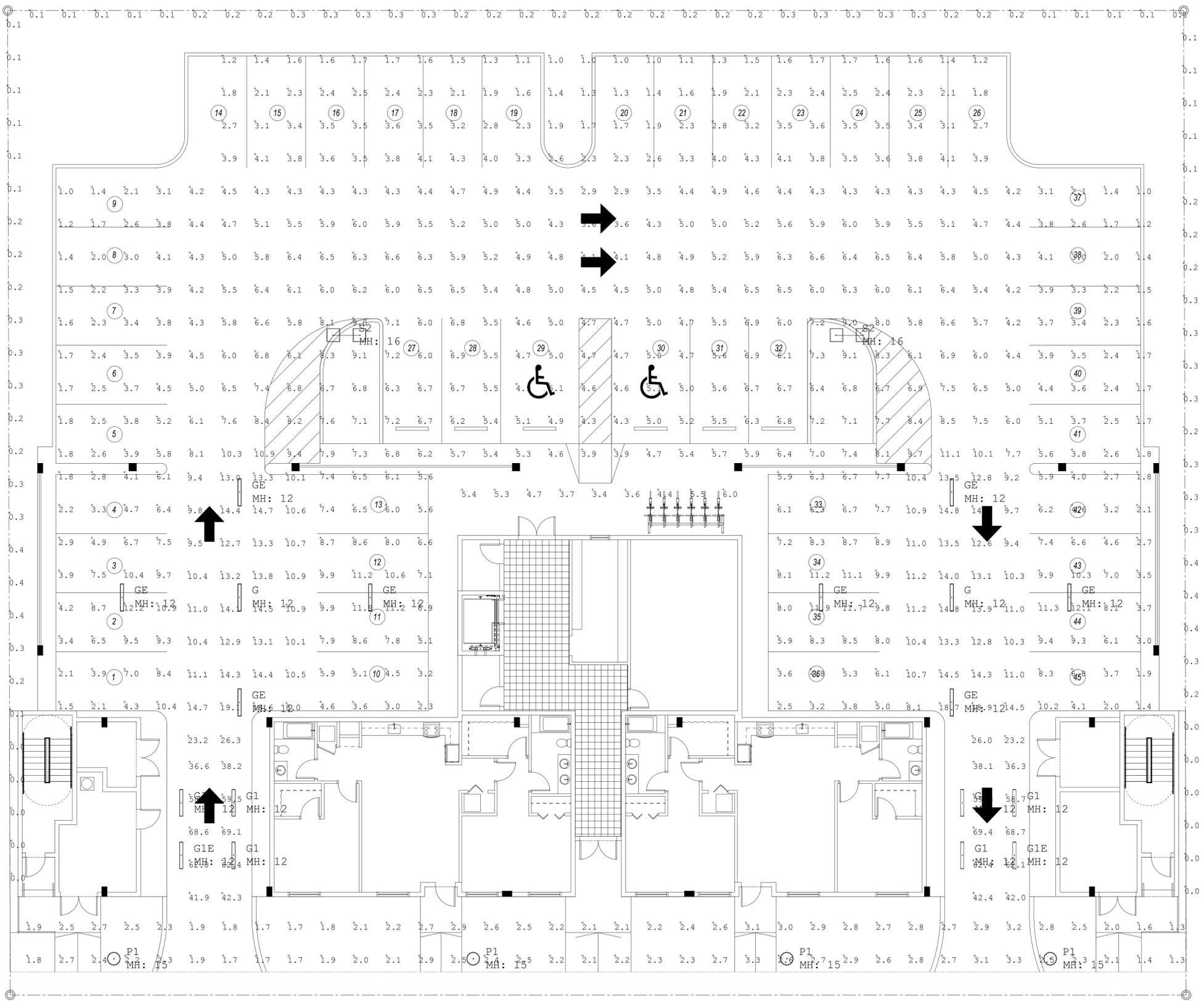
DRAWING INFO:

DATE: 06/28/20
 WHEN DRAWING SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS.
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF WORK.
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

Project number
 Drawn by
 Scale

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Front Sidewalk	Illuminance	Fc	2.36	3.3	1.3	1.82	2.54
Garage Car Storage	Illuminance	Fc	6.48	12.2	1.4	4.63	8.71
Garage Drive Lanes	Illuminance	Fc	13.16	26.3	8.0	1.65	3.29
Garage Entrance	Illuminance	Fc	53.94	69.4	36.3	1.49	1.91
Interior Sidewalk	Illuminance	Fc	3.64	6.0	1.3	2.80	4.62
Parking Lot	Illuminance	Fc	4.49	11.1	1.0	4.49	11.10
Spill	Illuminance	Fc	0.19	0.4	0.0	N.A.	N.A.

Symbol	Qty	Label	Arrangement	Description	LLF
-	2	G	SINGLE	Viscor Lighting LSVA48-LED840K042LUNV	0.90
-	8	GE	SINGLE	Viscor Lighting LSVA48-LED840K042LUNV-B39	0.90
-	6	G1	SINGLE	Viscor Lighting LSVA48-LED840K100LUNV	0.90
-	2	G1E	SINGLE	Viscor Lighting LSVA48-LED840K100LUNV-B39	0.90
⊙	4	P1	SINGLE	Cree Lighting ARE-EDR-5M-R3-06-E-UL-XX-350	0.90
□	2	S2	D180	Cree Lighting OSQ-A-NM-5SH-K-57K-UL-XX	0.90





CITY OF HALLANDALE BEACH

TREE DISPOSITION LIST	TREE COMMON NAME/SCIENTIFIC NAME	DBH(IN)	HT(FT)	CANOPY(FT)	DISPOSITION	CONDITION	COMMENTS
01	MAHOGANY Swietenia mahogany	17	20	17	TO REMOVE	FAIR	
02	CARROTWOOD Cupressus anacardioides	5	10	6	TO REMOVE	POOR	INVASIVE / NO MITIGATION REQ.
03	NORFOLK ISLAND PINE Araucaria heterophylla	16	20	10	TO REMOVE	FAIR	INVASIVE / NO MITIGATION REQ.
04	NORFOLK ISLAND PINE Araucaria heterophylla	16	20	10	TO REMOVE	FAIR	INVASIVE / NO MITIGATION REQ.
05	ARECA PALM Dypsis lutescens	ML	15	10	TO REMOVE	POOR	
06	LIVE OAK Quercus virginiana	10	20	20	TO BE RELOCATED	FAIR	
07	ADONIA PALM Adonia merillii	4	10	5	TO REMOVE	FAIR	
08	ADONIA PALM Adonia merillii	4	12	5	TO REMOVE	FAIR	
09	ADONIA PALM Adonia merillii	4	14	5	TO REMOVE	FAIR	
10	BANYAN TREE Ficus benghalensis	48	25	30	TO REMOVE	FAIR	
11	ADONIA PALM Adonia merillii	6	15	5	TO REMOVE	FAIR	
12	ADONIA PALM Adonia merillii	4	14	5	TO REMOVE	FAIR	
13	ADONIA PALM Adonia merillii	3.5	10	5	TO REMOVE	FAIR	
14	MANGO TREE Mangifera indica	16	15	20	TO REMOVE	GOOD	
15	MANGO TREE Mangifera indica	13	15	15	TO REMOVE	GOOD	
16	MANGO TREE Mangifera indica	16	15	15	TO REMOVE	GOOD	
17	CABBAGE PALM Sabal palmetto	12	15	10	TO BE RELOCATED	GOOD	
18	ADONIA PALM Adonia merillii	4	10	5	TO REMOVE	FAIR	
19	ADONIA PALM Adonia merillii	4	10	5	TO REMOVE	FAIR	
20	ADONIA PALM Adonia merillii	4	10	5	TO REMOVE	FAIR	
21	ADONIA PALM Adonia merillii	4	10	5	TO REMOVE	FAIR	
22	ADONIA PALM Adonia merillii	4	10	5	TO REMOVE	FAIR	
23	ADONIA PALM Adonia merillii	4	10	5	TO REMOVE	FAIR	
24	ADONIA PALM Adonia merillii	4	10	5	TO REMOVE	FAIR	
25	CABBAGE PALM Sabal palmetto	12	12	8	TO BE RELOCATED	GOOD	
26	CABBAGE PALM Sabal palmetto	12	15	8	TO BE RELOCATED	GOOD	
27	CABBAGE PALM Sabal palmetto	12	10	8	TO BE RELOCATED	GOOD	
28	CABBAGE PALM Sabal palmetto	12	15	10	TO BE RELOCATED	GOOD	
29	ADONIA PALM Adonia merillii	4	8	5	TO REMOVE	FAIR	
30	ADONIA PALM Adonia merillii	4	8	5	TO REMOVE	FAIR	
31	ADONIA PALM Adonia merillii	4	8	5	TO REMOVE	FAIR	
32	ADONIA PALM Adonia merillii	4	8	5	TO REMOVE	FAIR	
33	ADONIA PALM Adonia merillii	4	9	5	TO REMOVE	FAIR	
34	CABBAGE PALM Sabal palmetto	12	4	4	TO BE RELOCATED	GOOD	
35	CABBAGE PALM Sabal palmetto	12	20	10	TO BE RELOCATED	GOOD	
36	CABBAGE PALM Sabal palmetto	12	20	10	TO BE RELOCATED	GOOD	
37	LIVE OAK Quercus virginiana	36	50	50	TO REMOVE	GOOD	
38	MANGO TREE Mangifera indica	15	40	28	TO REMOVE	FAIR	
39	CABBAGE PALM Sabal palmetto	4	16	5	TO REMOVE	FAIR	
40	MANGO TREE Mangifera indica	17	12	10	TO REMOVE	FAIR	
41	CABBAGE PALM Sabal palmetto	12	15	10	TO BE RELOCATED	GOOD	
42	CABBAGE PALM Sabal palmetto	12	15	10	TO BE RELOCATED	GOOD	
43	CARROTWOOD Cupressus anacardioides	8	15	10	TO REMOVE	POOR	INVASIVE / NO MITIGATION REQ.
43b	CARROTWOOD Cupressus anacardioides	18	10	10	TO REMOVE	POOR	INVASIVE / NO MITIGATION REQ.
43c	TRAVELER PALM Rapisar madagascariensis	15	25	25	TO REMOVE	POOR	
43d	TRAVELER PALM Rapisar madagascariensis	12	25	12	TO REMOVE	FAIR	ACCENT TREE / NO MITIGATION REQ.
43e	BRAZILIAN PEPPER TREE Schinus molle	5	12	10	TO REMOVE	FAIR	INVASIVE / NO MITIGATION REQ.

CONDITION: EXCELLENT=90-100%, GOOD=75-85%, FAIR=60-70%, POOR=40-50%, VERY POOR=10-35%

TREE MITIGATION: Do not relocate, remove or destroy a tree without first obtaining a permit from the City.

- 47 TOTAL EXISTING TREES:
- 6 INVASIVE
 - 1 ACCENT TREE
 - 10 RELOCATED CABBAGE PALMS
 - 1 RELOCATED TREES (#6)
 - 20 PALMS TO MITIGATE
 - 9 TREES TO MITIGATE (193")

MITIGATION REQUIREMENTS: 20 palms + 193" hardwood
 Trees: (193) inches of DBH to be removed and mitigated as req.
 Trees #1, #10, #14, #15, #16, #37, #38, #40, #43b
 Palms: (20) palms to be removed and mitigated as required 2.1.

MITIGATION PROVIDED: (10 palms @ 2:1 + 21" replacement)
 Mitigation requirements: hardwood DBH must be mitigated with hardwood replacement inch by inch.
 3 Gumbo trees at 3" DBH min. equals (9") dbh mitigation
 4 Green buttwood trees at 3" DBH min. equals (12") mitigation
 20 Alexander palms at 8" CT equals 10 palm replacements (2:1 replacement)

(172) REPLACEMENT Hardwood & 20 palms DO NOT FIT ON SITE.
 *APPLICANT SHALL PAY THE APPROPRIATE FEE INTO THE CITY'S TREE PRESERVATION TRUST FUND, AS REQUIRED BY CITY. FOLLOW CITY REQUIREMENTS FOR TRUST FUND PAYMENTS.
 -TREE RELOCATION BOND REQUIRED FOR ACTIVITIES INVOLVING SPECIMEN TREES AS REQUIRED BY CITY.

City of Hallandale Beach, FL.
 -Replacement trees shall be Florida No. 1 quality or better. The diameter of the replacement tree shall be equal to or greater than the diameter of the trees being removed. More than one tree may be utilized for replacement if the aggregate sum of the diameters of the replacement trees is equal to or greater than the diameter of the trees being removed. Each replacement tree shall have the largest diameter commercially available in Dade, Broward and Palm Beach counties for the tree species selected, provided that no replacement tree shall have a diameter of less than three inches. Diameter measurements shall be made at four and one-half feet above the ground.
 -DBH equal to or greater.
 -3" min. dbh on replacement trees.

Tree replacement for specimen trees. A tree appraisal will be performed by the city to determine the dollar value of any specimen tree approved by the city for removal pursuant to subsection (d) of this section. This appraisal shall be pursuant to the "Guide for Plant Appraisal, Eighth Edition," as amended by the Council of Tree and Landscape Appraisers.

TREE DISPOSITION LEGEND:

001 Tree/Palm Number (TP)
 Existing TREE/PALM TO BE RELOCATED
 Refer To Landscape Plan for new location
 (All Sabal Palms on site in conflict with proposed development will be relocated)
 Whether noted on plans or not
 Symbol may be enlarged to include more than one tree

002 Existing TREE/PALM TO BE REMOVED
 Mitigated with Replacement Trees - Refer To Landscape Plan
 Refer To Tree Survey/Disposition Plan List For Species and Canopy Sizes
 Symbol may be enlarged to include more than one tree

TREE PROTECTION DURING CONSTRUCTION:

- Place and maintain protective barriers around the dripline of all trees to be retained on the site to prevent their destruction or damage. The protective barriers shall be conspicuous enough and high enough to be seen easily by operators of trucks and other equipment. Protective barriers shall be constructed of sturdy material (not flagging or ribbons).
- Not store or use materials or equipment within the dripline of any tree to be retained on the site unless the activity is being done to protect trees.
- Not discharge or contaminate the soil within the dripline of any tree to be retained on the site with any construction materials such as paint, oil, solvents, petroleum products, asphalt, concrete, mortar, or other materials that may cause adverse impacts.
- Clearing of vegetation within the dripline of trees designated for preservation shall only be by hand or light rubber-wheeled equipment that will not damage tree roots.
- Utilize retaining walls and drywells where needed to protect trees to be preserved from severe grade changes.
- Pruning of trees to be preserved shall be in accordance with the standards for pruning established by the National Arborist Association or standards for palm pruning as listed in "Arboriculture Second Edition" by Richard W. Harris, as amended.
- Make no attachments, other than those of a protective and nondamaging nature, to any tree to be retained on the site.
- Not change the natural grade above the root system within the dripline of any tree to be retained on the site unless it can be demonstrated to the city that it will not damage any tree.
- Avoid any encroachments, excavations or severe grade changes within the dripline of preserved trees unless it can be demonstrated to the city that it will not impact any tree.
- Any trees designated to be preserved which are damaged during construction shall promptly be repaired.

FOR CITY REVIEW



Signature of Derick Langel



CENTER FOR COLLABORATIVE ARCHITECTURE

1424 SW 23 St. Miami, FL 33145
 Ph: 786-487-3724
 Email: general@ccadesign.net
 AA26001348

ARCHITECT SEAL:
 JORGE CASTRO-CALOU - AR97469



OWNER: LEISURE APARTMENTS INC
 215 SE 4TH ST
 HALLANDALE, FL 33009

NO.	DRAWING ISSUE	DATE
	DRC MEETING	04-20-20
#1	rev. per comments	6/19/2020

LEISURE APARTMENTS
 215 SE 4TH ST,
 HALLANDALE BEACH,
 FLORIDA 33009

PROJECT INFO:

TREE DISPOSITION

DRAWING INFO:

Project number	03-27-2020
Drawn by	FP
Scale	3/32" = 1'-0"



L-1
 TREE DISPOSITION

FOR CITY REVIEW

CENTER FOR COLLABORATIVE ARCHITECTURE

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Ph: 786-487-3724
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	DRC MEETING	04-20-20

LEISURE APARTMENTS
215 SE 4TH ST,
HALLANDALE BEACH,
FLORIDA 33009

PROJECT INFO:

PLANTING DETAILS

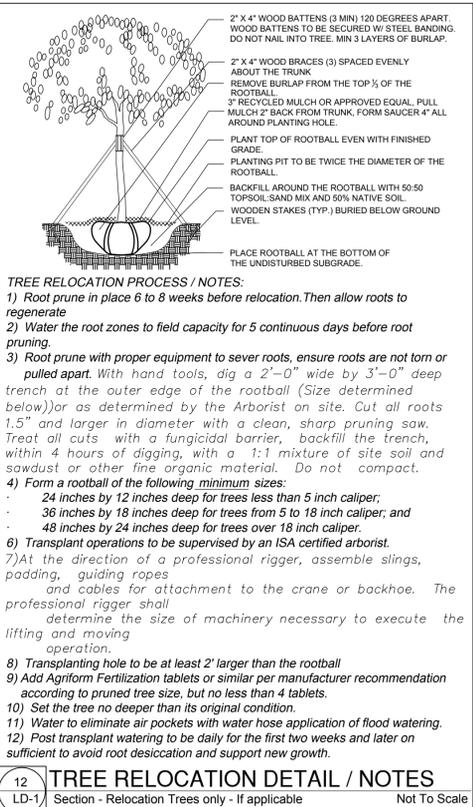
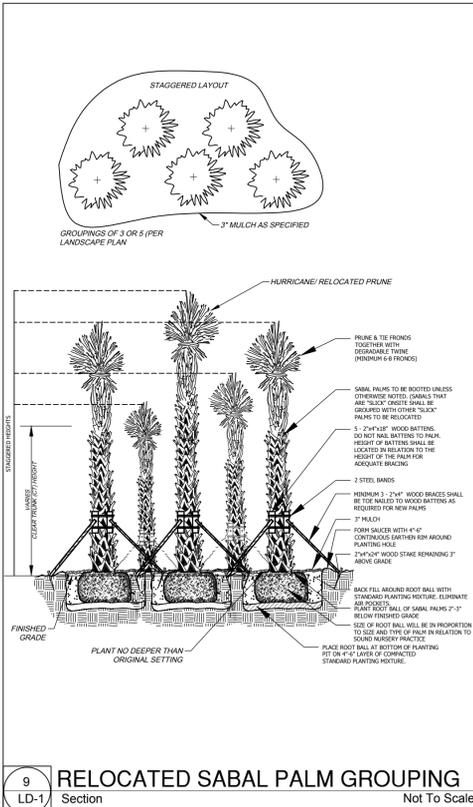
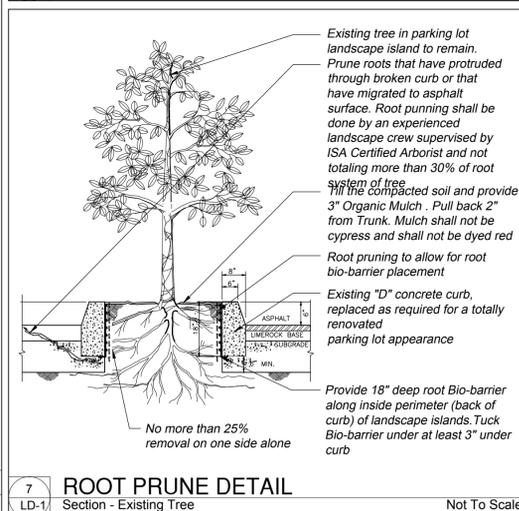
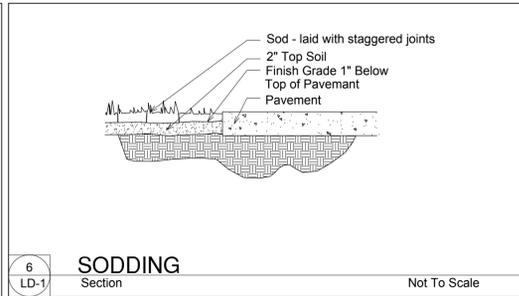
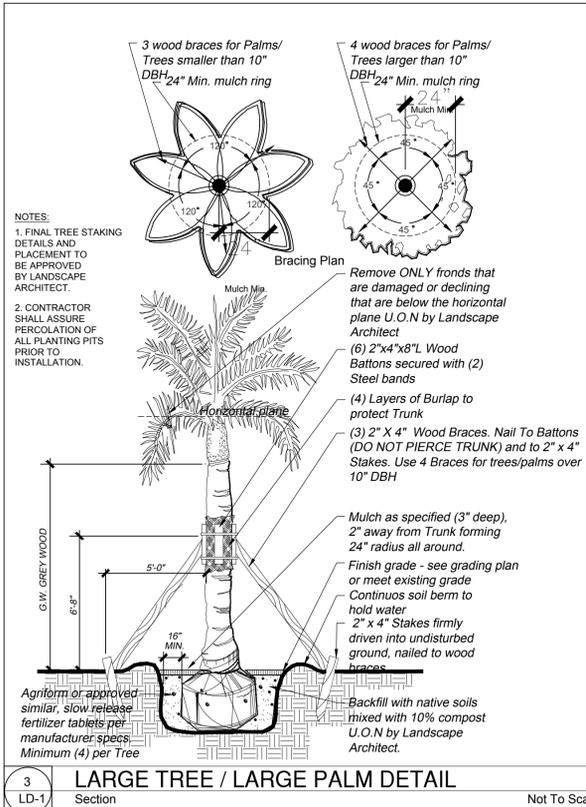
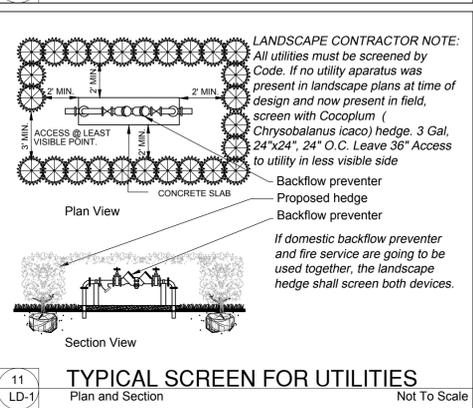
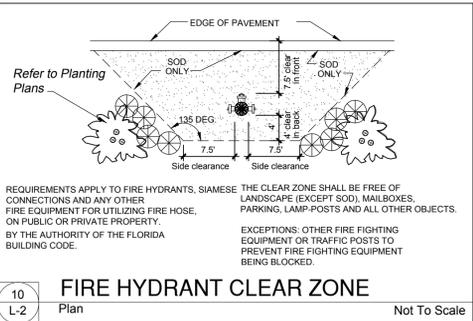
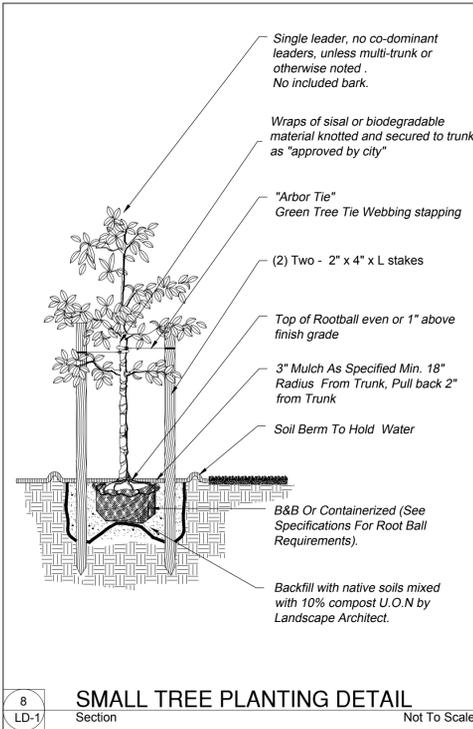
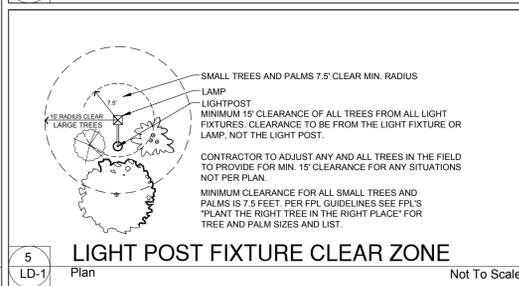
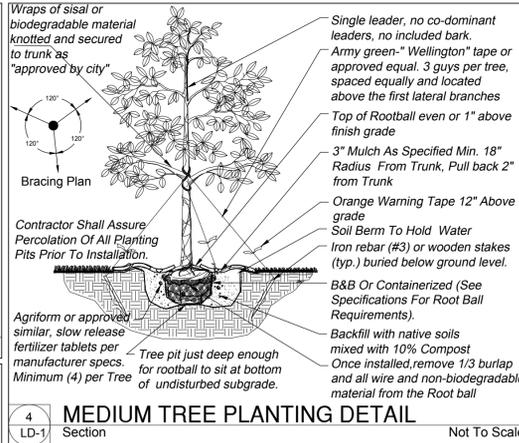
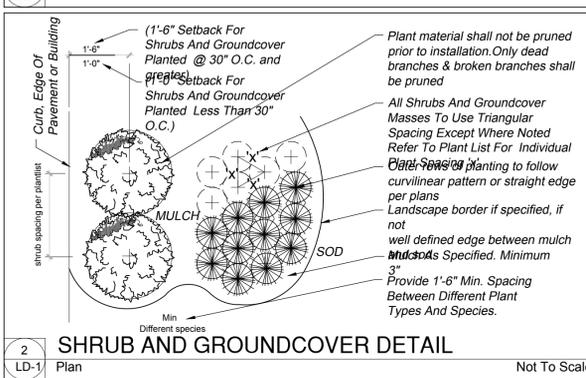
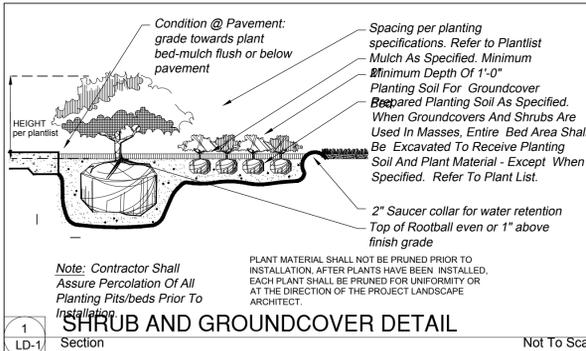
DRAWING INFO:

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Project number	03-27-2020
Drawn by	FP
Scale	N.T.S.

L-3

PLANTING DETAILS



GENERAL LANDSCAPE NOTES:

- A. SCOPE**
- The locations of plants, as shown in these plans, are approximate. The final locations may be adjusted slightly to accommodate unforeseen field conditions. All other location adjustments to the layout are to be approved in advance in writing by the Landscape Architect and owner.
- B. BIDDING**
- See typical planting details sheet for additional planting details and notes
 - Landscape contractor shall verify all estimated quantities of material shown on the drawings prior to submitting his bid. Planting plan to take precedence over plant list.
 - Pre-inspections of site required prior to bidding.
 - The plant list is intended only as an aid to bidding. Any discrepancies found between the quantities on the plan and plant list the quantities on the plan shall be held valid.
 - All labor and material for soil amendments and fertilizer that is required to insure the successful establishment and survival of the proposed vegetation, as well as all the cost for the removal of unsuitable or excess backfill material, shall be included in the contractor's bid to perform the work represented in this plan set. Bid shall be itemized for possible value engineering.
 - Sod shall include price per square foot.
- C. GENERAL LANDSCAPE NOTES**
- All landscaping shall be installed according to sound nursery practices. Plants grown in containers prior to installation shall be removed from their containers before they are planted in the ground. A layer of mulch to a minimum depth of three inches shall be installed in plant beds and around individual trees in turf areas.
 - All screening shrubs shall be planted for proper operation of equipment being screened and/or per the requirements of the utility as necessary. All hedge material required for screening purposes shall be planted with proper spacing. Adjust spacing as necessary and/or provide additional plants to provide an adequate screen.
 - All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of Keith and Associates and may not be duplicated without authorization or used for other projects than the intended.
 - Where there is a discrepancy either in quantities, plant names or specifications between the plan & or plant list, the plan takes precedence.
 - The Landscape Contractor shall exercise caution to protect all existing sod, electrical and irrigation. Any damage to the sod, electrical or irrigation shall be replaced or repaired to the original state by the Landscape Contractor at no additional cost to the owner.
 - Tree, palm, accent and bed lines are to be located in the field and approved by the Landscape Architect / owner prior to installation.
 - All trees must be pruned as per landscape architect's direction.
- D. PERMITS & REGULATIONS**
- Contractor(s) must obtain separate landscape, irrigation & tree relocation/removal permits from the city prior to the issuance of the first building permit for the project.
 - Landscape contractor to call the city Landscape Inspector to schedule a pre-construction meeting prior to installation if required.
- E. TREE REMOVAL**
- Removal of any trees or palms will require a written "tree removal permit" from the local governing agency prior to removal. Non-native trees classified as "prohibited" trees may be exempt from the permit.
- F. EXISTING TREES & RELOCATION**
- Existing trees designated to remain shall be protected during all construction phases. Any trees or shrubs scorched or destroyed designated to remain will be replaced at the contractor's expense, with same species, size and quality.
 - Existing plant material not shown on the plan and in conflict with new planting shall be evaluated at the time of new planting installation by the Landscape Architect. Trees & plant material indicated to be relocated with no new location provided in plans shall be moved to a location on site designated as a nursery holding area with the root ball protected from direct sunlight, maintained and irrigated until new location is determined.
 - Prune trees to remove damaged branches, improve natural shape and thin out structure. Do not remove more than 15% of branches. Do not prune back terminal leader.
 - Prune existing shrubs to remove damaged branches & improve natural shape.
 - Existing trees to remain shall be trimmed per ANSI-A300 standards. Supervision of the trimming shall be performed by an ISA Certified Arborist to insure quality work.
 - All existing trees shall be "lifted and thinned" to provide an 8' minimum clearance for sidewalks and pedestrian walkways and a 14' minimum clearance for roadways, driveways and all vehicular use areas.
 - Prune trees as required / Indicated in walk-through to provide sunlight filtering.
 - The plans call for relocation of several plants. High level of care should be exercised to assure that plants are not damaged or traumatized in the process and that they are promptly replanted upon being dug up.
- G. SITE PREPARATION & GRADING**
- Landscape contractor shall loosen & till compacted soils in entire 52 avenue side of front yard and in all other planting areas of the project to provide for proper soil aeration for plant establishment.
 - Planted areas shall be cleared of underground rocks, construction debris and other materials detrimental to the health of the plants. Lime rock base material shall be removed within planting pits and adjacent to pavement. Plant area soils shall be tested for pH before planting. Soils showing high (alkaline) pH (over 7.5) shall be removed and replaced with native soil having a pH range of 6.5 - 7.5, or modified as approved by Landscape Architect.
 - Site preparation shall include the eradication & removal of any weeds, clean-up of any dead material, debris, and rubbish.
 - General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the Landscape Contractor.
 - All planting beds shall be free of all rocks 1/2" or larger, sticks, and objectionable material including weeds, weed seeds. All lime rock shall be removed/cleaned down to the native soil.
 - The Landscape contractor shall ensure the planting areas are at finish grade prior to installing plant materials. Grade shall be per plans, if not indicated, in any event drainage shall be directed away

- Site preparation shall include the eradication and removal of any weeds, clean-up of any dead material and finish grading as per the specs.
 - All trees and plant material to remain shall be protected during construction. Sanitary contractor shall install protective barriers such as "Tencor" orange safety fencing or similar, to be installed before the beginning of the project. Barriers shall be located to include the drip line of the trees, palms and plant material. The contractor shall take extra caution to prevent any damage to the trunk, root zones and grade.
 - Final grade within planting areas to be 2" below adjacent paved areas or top of sidewalk.
 - All planting beds shall be shaped and sloped to provide proper drainage.
- H. IRRIGATION**
- The Landscape Contractor shall coordinate with the irrigation contractor if not the same and leave provisions for all individual trees in turf areas and all planting beds
 - Landscape contractor to retro-fit automatic lawn irrigation system guaranteeing 100% coverage & maintain a 50% min. overlap to all landscaped areas. There shall be no over spray onto sidewalks.
 - The contractor shall ensure that the irrigation system is operational and free of leaks prior to any planting. Plant material that is installed prior to the irrigation system being operational shall be watered by the contractor at his expense. Water for plant establishment should be included in the cost of the plant.
 - All guidelines as outlined by the South Florida Water Management District (SFWMD) or water management district with jurisdiction shall be strictly adhered to.
 - Existing irrigation system shall be retrofitted to comply with those specifications as outlined above.
- I. HARDSCAPE & OTHER MATERIALS**
- Face of trees and palms to be located a minimum of 2' -0" setback from all walkways, walls, and paved surfaces, unless otherwise indicated on the plans.
- J. UTILITIES/CLEARANCES**
- The contractor shall be responsible for determining the location of and avoid and protect utility lines, buried cables, and other utilities.
 - Trees shall be placed a minimum of 5 ft. from underground utilities, unless otherwise approved in writing by Landscape architect and Owner.
 - All shade trees to be planted min. of 15' from light poles. Unless otherwise approved in writing by Landscape architect and Owner.
 - Landscape contractor shall contact the county, city and/or utility companies to locate all underground utilities or structures prior to digging. Landscape contractor shall repair all damage to underground utilities, and/or construction caused by utility damage, at no cost to the owner.
 - All plant material symbols shown on landscape plan shall be considered diagrammatic and should be adjusted in the field by contractor to avoid all utilities, and all other obstructions.
 - If/ When digging in right of way needed: Two (2) full business days before digging, call toll free 1-800-432-4770, or 811, Sunshine State One Call of Florida, Inc. Notification Center. In addition, call the City's Utilities/Public Works Department. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities shown on the plans are to be considered approximate and should be verified by the contractor prior to the start of work operations.
 - Above & below ground utilities shall be verified & located in the field by the contractor prior to commencing work in the project area. The contractor shall examine available utility plans & confirm conflicts between indicated or located utilities & landscape work. The contractor shall then notify the Project Engineer of said conflicts & the Engineer will coordinate any necessary adjustments with the utility provider. Tree locations will be adjusted as necessary when in conflict with existing utilities.
 - The final plant locations may be adjusted, as approved / directed by the Landscape Architect in writing, to accommodate utilities compliance. Excavations within 5' of known utilities should be done by hand.
 - Contractor shall familiarize himself with the location of and avoid and protect utility lines, buried cables, and all other utilities, noted or not, on plans.
 - Root barriers shall be installed where required by local utility company or other regulating agencies.
 - If a clearance and access shall be provided around all above ground or at grade meters and equipment.
 - Landscape planting shall be in conformance with FPL guidelines for setbacks from overhead utility lines.
 - Landscape shall not interfere with light poles, fire hydrants, electrical/mechanical equipment access, signs, drainage structures, etc. Bring the attention of Landscape Architect any conflicts.
- K. LANDSCAPE BACKFILL & SOIL AMENDMENT**
- 6" top soil required around & beneath all root ball.
 - All building construction material and foreign material shall be removed from the planting areas and void replaced with 50/50 mix fill soil or as per specifications on plans.
 - Planting soil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and palms, the top 6" of all shrubs and ground cover beds and top 2" of all sodded areas. This soil shall be tilled into the existing soil after the existing soil has been cleaned of all rocks, limestone and sticks. Recycled compost is encouraged as a soil amendment alternative.
 - Planting soil to be weed free.
- Groundcover planting beds: 6" depth planting soil spread in place - throughout.
- Shrub and hedge planting areas: 12" depth planting soil spread in place - throughout.
- Trees, palms, specimen plant material: 30" depth planting soil spread in place -or- to the depth of the root ball or container, whichever is greatest, throughout.
- Building foundations shall be the same for a width of 36" from the building base.
- Do not allow air pockets to form when backfilling. All trees shall be

- spiked in utilizing water and a tree bar.
- L. PLANT SIZE & QUALITY**
- Plant material shall conform to the standards for grade # 1 or better as given in the latest grades and standards for nursery plants, parts I and II by the Florida Department of Agriculture and Consumer Services or to the standards as given in the latest American Standard for Nursery Stock by the American National Standard Institute.
 - All perimeter hedge material shall meet the minimum specified heights at the time of planting.
 - All plant material must meet or exceed the minimum size requirements as specified on the plant list. Height specification governs over container size spread if both specifications given and cannot be met.
 - All sizes shown for plant material on the plan are to be considered minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan shall also be required for acceptance. All trees to be single trunked, unless otherwise noted on the plans.
 - All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trunks on palms shall be uniform in thickness for the entire length of the palm and shall not taper off to disproportionate thinness towards the crown. Trees with bark inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected.
 - Use nursery grown plant materials that complies with all required inspection, grading standards, and plant regulations in accordance with the latest edition of Florida Department of Agriculture, "Grade & Standards for Nursery Plants".
 - All plant material must meet or exceed the minimum size requirements as specified on the plant list.
 - All substitutions must be approved by the Architect and Owner.
 - Trees, palms, shrubs, ground covers, etc. shall be selected for plant species and sizes shall conform to those indicated on the drawings. All nursery stock shall be in accordance with grades and standards for nursery plants parts 1 & 2 latest edition published by the Florida Department of Agriculture and Consumer Services, unless specified otherwise. All plants shall be Florida grade number 1 or better as determined by the Florida Division of Plant Industry and tightly knit plant, so trained or favored in its development that first appearance is unquestionable and it is outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be freshly dug, sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and palms shall be uniform in size and shape. All materials shall be subject to approval by the landscape architect. The plants furnished shall be normal for the variety and Florida number 1. Plants shall be pruned prior to delivery only upon the approval of the Landscape Architect.
 - All containers grown material shall be healthy, vigorous, well-rooted plants and established in the container in which they are sold. The plants shall have tops of good quality and be in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container sufficiently long enough for the new fibrous roots to have developed so that the root mass will retain its shape and hold together when removed from the container.
 - Field grown trees and palms previously root pruned shall obtain a root ball with sufficient roots for continued growth without resulting shock.
 - Root suckers on any tree are not acceptable and must be properly pruned.
 - Contractor shall coordinate with Landscape Architect and Owner to obtain prior approval for the selection of the specific specimens of all palms and any trees of more than 6 feet in height.
- M. PLANTING NOTES**
- | | Plant size | 16-7-12 |
|------------------|---------------|--------------------|
| 1 | 1 gal. | 1/4 lb. |
| 3 | 3 gal. | 1/2 lb. |
| 6 | 7-15 gal. | 1 lb. |
| 2 per 1" caliper | 1"-6" caliper | 2 lbs. /1" caliper |
| 2 per 1" caliper | 6" and larger | 3 lbs. /1" caliper |
1. All synthetic burlap, synthetic string or cords, or wire baskets shall be removed before any trees are planted. All synthetic tape (i.e. tagging tape, nursery tape) shall be removed from trunks, branches, etc. before inspection. The top 1/3 of any natural burlap shall be removed or tucked into the planting hole before the trees are back filled.
2. All "groundcover" requires 75% coverage and 100% within 3 months of installation. Bring to the attention of Landscape Architect in writing before commencing if this is not achievable with the design.
3. Set trees no deeper than it was in its original growing condition with the top of the root ball even with, or slightly higher (+/- 1") than the finished grade.
4. All burlap, string, cords, wire baskets, plastic or metal containers shall be removed from the root balls before planting. Remove all bamboo and metal nursery stakes. Remove all tagging tape.
5. All trees/palms shall be planted so the top of the root ball, root fair or slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade.
6. All trees and palms shall be staked per accepted standards by the Florida Nurserymen & Growers Association (FNCA). Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details.
7. The location of plants, as shown on the plans, is approximate. The final conditions may be adjusted slightly to accommodate unforeseen field conditions, to comply with safety setback criteria, to avoid creating unsafe sight conditions, or as otherwise directed or approved by the Landscape Architect / owner in writing. All other location adjustments to the layout are to be approved in advance in writing by the Landscape Architect and owner.
8. All trees, new or relocated, to be staked and guyed as detailed.
9. Layout shrubs to create a continuous smooth front line and fill in behind.
10. Excavate pit or trench to 1-1/2 times the diameter of the balls or containers or 1'-0" wider than the spread of roots and 3" deeper than required for positioning at proper height. Compact a layer of topsoil in bottom before placing plants. Backfill around plants with planting mixture, compacted to eliminate voids and air pockets. Form grade slightly dished and bermed at edges of excavation. Apply 3" of mulch.
12. Groundcover and shrubs to be spaced in a uniform and consistent pattern.
13. All mechanical equipment, irrigation pumps, FPL transformers, pool pumps, etc. shall be screened on a minimum of three sides by landscape shrubs.
14. Contractor shall not mark or scar trunks in any fashion.
- N. SOD**
- All areas disturbed during construction shall be sodded with St. Augustine "Floratom" unless otherwise noted. Landscape Contractor

- To supply & install 2" soil layer 50/50 mix blanket for all new sod areas.
 - All open areas not covered by trees, palms, shrubs, vines, ground covers or existing sod in good condition to remain, shall receive Stenotaphrum Secundatum, St. Augustine "Palmetto" sod, whether labeled on the plans or not, unless a different species is indicated on the planting plan. All sod is noted shall be approximate; it is the contractor's responsibility to do his or her take off and sod all open areas. It shall be the responsibility of the contractor to include in the bid, the repair of any existing sod which may be damaged during construction.
 - Sod shall be of the species indicated on the plans (St. Augustine "Floratom" if not indicated, strongly rooted, free from weed, fungus, insects and disease. Contractor shall sod all areas as indicated on the plans or as directed. Contractor shall be paid by the total sodded area x the unit price submitted (field verified).
 - Sod type specified on plant list shall be machine stripped no more than 24 hours prior to laying.
 - Lay sod strips with tight joints, do not overlap, stagger strips to offset joints in adjacent courses. Work sifted soil mix into minor cracks between pieces of sod and remove excess soil deposits from sodded areas. Sod on slopes greater than 3:1 shall be immediately staked after planting.
- O. INSPECTION & ACCEPTANCE**
- A mandatory inspection of the planting bed layout is required before planting.
 - Onsite plant deliveries shall occur on Monday through Friday only unless otherwise directed by the Landscape Architect. The contractor shall ensure that plant material is delivered undamaged from transportation or digging operations. The Landscape Architect may reject material that has been damaged or rendered unacceptable due to relocation or transportation from the point of origin. All plant material shall be available for inspection & approval by the Landscape Architect prior to final installation.
 - There shall be one final inspection for approval by each of the presiding governing agency, Landscape Architect and owner. Contractor shall provide the plans, details, specifications and notes have been adhered to and that the landscape and irrigation installation is compliant to all items as directed on the plans prior to scheduling of the final inspection.
 - Upon completion of the work, the Landscape Contractor shall notify the Landscape Architect and request a final inspection. Any items that are judged incomplete or unacceptable by the Landscape Architect or owner shall be promptly corrected by the Landscape Contractor.
 - No substitution of plant material, type or sizes will be permitted without prior written authorization from the Landscape Architect and owner.
 - To obtain final payment, Contractor must provide release of all mechanic's liens and material men's liens.
- P. FERTILIZING**
- All landscape materials shall be fertilized upon installation. See details sheet.
 - Fertilizer in backfill mixture for all plants shall consist of Milorganite activated sludge mixed with the backfill at a rate of not less than 50 lbs. per cubic yard.
 - Fertilizer for trees and shrubs may be tablet form or granular. Granular fertilizer shall be uniform in composition, dry and free-flowing. This fertilizer shall be delivered to the site in the original unopened bags, each bearing the manufacturer's statement of analysis, and shall meet the following minimum requirements: 16% nitrogen, 7% phosphorus, 12% potassium, plus iron. Tablet fertilizer (agriform or equal) in 21 gram size shall be applied at the following rates:
- Q. MULCH**
- All planting beds shall be mulched to a depth of 3" with an organic mulch approved by Landscape Architect. No heavy metals, such as arsenic, etc. are to be contained in the mulch. The contractor shall provide certification if requested or proof that all mulch is free of heavy metals or similar environmental contaminants.
 - Shredded approved organic mulch to be used beyond trunk in all directions & throughout all hedges & plant material.
 - All trees in sodded areas shall have a clean cut 4" diameter mulch ring. Cypress, red, gold and green mulch is prohibited.
 - All proposed trees located within grassed areas shall have a minimum three foot mulch ring with a three inch separation from the trunk of the tree.



FOR CITY REVIEW

- R. WATERING**
- All plant material shall be watered in thoroughly at the time of planting.
 - It is the sole responsibility of the Landscape Contractor to insure that all new plantings receive adequate water during the installation and until completion of contract. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided by Contractor as a part of this contract.
- S. CLEAN UP**
- The Landscape Contractor is responsible for maintaining all landscape planting areas until final acceptance of the owner.
- The contractor is responsible for moving the entire project during planting & establishment periods, based on mowing project once a month from October to April, & twice a month from April to October.
- Any excess soil, undesired stones or debris resulting from landscape operations shall be removed promptly, keeping the site clean as work progresses.
 - The Landscape Contractor shall at all times keep the premises free from accumulation of all waste materials or debris caused by his crews during the performance of the work.
 - Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.
- T. MAINTENANCE**
- Landscape Contractor to return to job site 12 months after tree pruning and remove all tree braces. Owner may choose to retain 5% of payment to ensure compliance.
 - The Landscape Contractor shall water, mulch, weed, prune, and otherwise maintain all plants, including sod, until completion of contract or acceptance by landscape architect. Settled plants shall be reset to proper grade, planting saucers restored, and defective work corrected.
 - Trees and shrubs shall be maintained to keep clearance of stop signs, safety clearance for visibility at intersection traffic.
- U. GUARANTEE & REPLACEMENT**
- By accepting the contract, the Contractor is thereby guaranteeing all plant materials and workmanship for a period of not less than ninety (90) days from the time of final acceptance by the owner. Contractor shall replace any plants which die or wither within such 180 days with healthy plants that meet specifications of the same species and size without additional cost to the owner unless such death or withering is due to Owner's failure to do ordinary maintenance on such plants after final acceptance in accordance with any maintenance instructions given by Landscape Architect for such plants. Such replacement shall include all plants and labor to plant the replacement plants. Any plant materials damaged by lightning, storms, freeze damage or other "acts of God" as well as plants damaged by vehicles, vandalism or neglect are not included in this replacement agreement. If requested, the Landscape Architect may act as a mediator between owner and Landscape Contractor on a time material basis. "Plants" includes all trees, palms, shrubs, grass and other plants provided or planted by Contractor.
- V. MISCELLANEOUS**
- Contractor shall be responsible for obtaining and cost of all permits.
 - Contractor to have liability insurance including Owner and Landscaper as insured's in excess of \$10,000 as well as workmen's insurance.
 - All work to be done in a professional and workmanlike manner.
 - Contractor understands that an important element of the design of this project is symmetry and shall use care and instruct the working crew accordingly. In the event of any doubt as to how to execute the plans, Contractor shall immediately consult with Architect and/or Owner.
 - No change order shall be valid, due or paid unless it is approved by Owner in writing in advance.
 - These notes shall be an integral part of the contract of Contractor and shall be deemed incorporated therein by reference. In the event of a conflict among the terms among the plans and these notes, the terms of this document shall control.



CENTER FOR COLLABORATIVE ARCHITECTURE

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ARCHITECT SEAL:
JORGE CASTRO-CALOU - AR97469



L AND STONE DESIGN TEL: 818-856-8556
LANDSCAPE PROJECT MANAGER: FAVIO PEREZ / 305.778.7136

OWNER: LEISURE APARTMENTS INC
215 SE 4TH ST
HALLANDALE, FL 33009

NO.	DRAWING ISSUE	DATE
	DRG MEETING	04-20-20

LEISURE APARTMENTS
215 SE 4TH ST,
HALLANDALE BEACH,
FLORIDA 33009

PROJECT INFO:

PLANTING NOTES

DRAWING INFO:

DATE: 03-27-2020
PROJECT: LEISURE APARTMENTS
DRAWN BY: FP
SCALE: N.T.S.

SEAL:

Damian Gonzalez PE.
PH: (305) 726-5669
P.E. No. 63910

OWNER: LEISURE APARTMENTS INC
215 SE 4TH ST
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NO.	DRAWING ISSUE	DATE
#1	PER SITE CHANGE	06-25-20

LEISURE APARTMENTS
215 SE 4TH ST,
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FLORIDA 33009

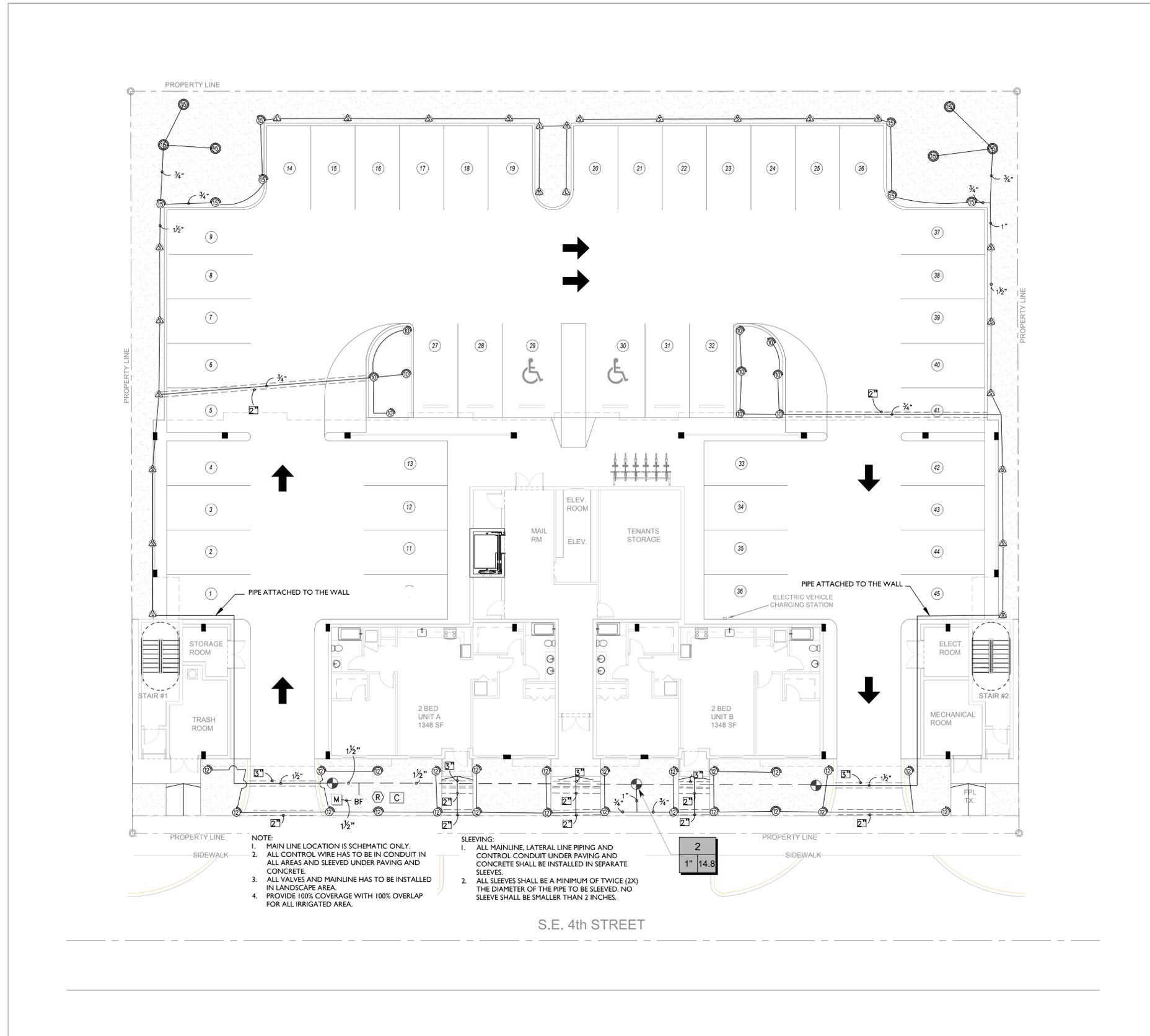
PROJECT INFO:

IRRIGATION PLAN
HEAD LAYOUT

DRAWING INFO:

Project number 04-15-2020
Drawn by DG
Scale 3/32" = 1'-0"

IP-100
IRRIGATION PLAN



NOTE:
1. MAIN LINE LOCATION IS SCHEMATIC ONLY.
2. ALL CONTROL WIRE HAS TO BE IN CONDUIT IN ALL AREAS AND SLEEVED UNDER PAVING AND CONCRETE.
3. ALL VALVES AND MAINLINE HAS TO BE INSTALLED IN LANDSCAPE AREA.
4. PROVIDE 100% COVERAGE WITH 100% OVERLAP FOR ALL IRRIGATED AREA.

SLEEVING:
1. ALL MAINLINE, LATERAL LINE PIPING AND CONTROL CONDUIT UNDER PAVING AND CONCRETE SHALL BE INSTALLED IN SEPARATE SLEEVES.
2. ALL SLEEVES SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. NO SLEEVE SHALL BE SMALLER THAN 2 INCHES.

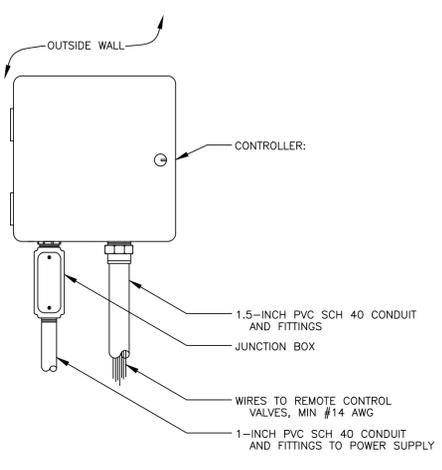


IRRIGATION CONSULTANT:

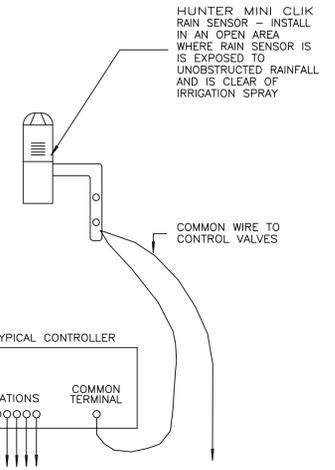


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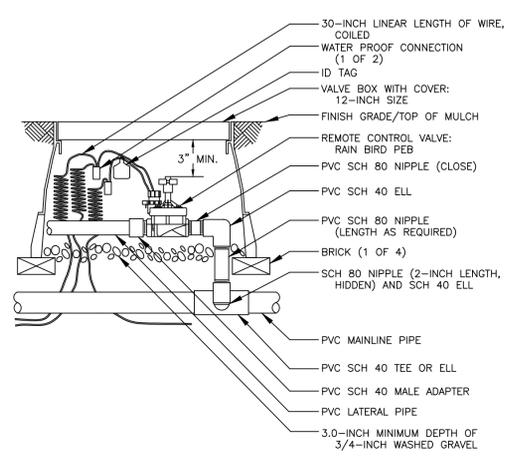




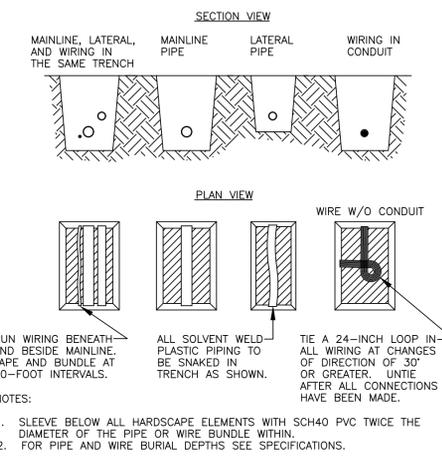
(1) CONTROLLER



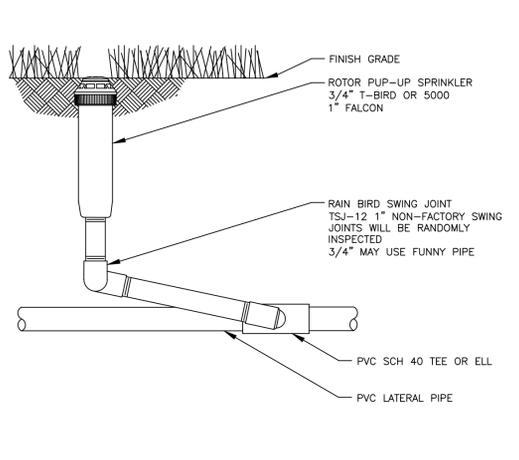
(2) AUTOMATIC RAIN SENSOR



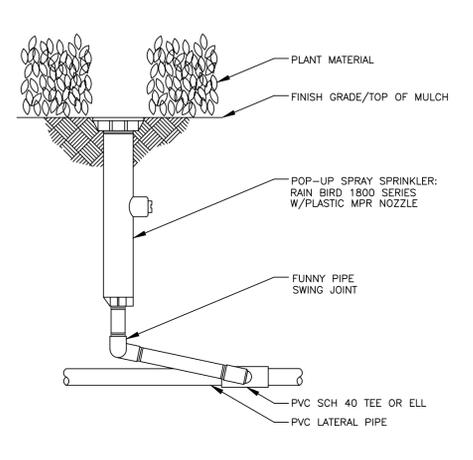
(3) REMOTE CONTROL VALVE



(4) PIPE & WIRE TRENCHING



(5) ROTOR POP-UP SPRINKLER



(6) POP-UP SPRAY SPRINKLER

CONTRACTOR MUST COMPLY WITH FLORIDA BUILDING CODE AMENDED APPENDIX F.

NO PRODUCT SUBSTITUTIONS OR CHANGES WILL BE ALLOWED WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE OWNER AND THE IRRIGATION CONSULTANT.

GENERAL NOTES

- All mainline, lateral line and control wire conduit under paving shall be installed in separate sleeves. Sleeves shall be a minimum of twice (2X) the diameter of the pipe to be sleeved.
- Pipe sizes shall conform to those shown on the drawings. No substitutions of smaller pipe sizes shall be permitted, but substitutions of larger sizes may be approved. All damaged and rejected pipe shall be removed from the site at the time of said rejection.
- Install all backflow prevention devices and all piping between the point of connection and the backflow preventer as per local codes.
- Final location of the backflow preventer and automatic controller shall be approved by the owner's authorized representative.
- 120 VAC electrical power source at controller location shall be provided by others. The electrical contractor shall make the final connection from the electrical source to the controller.
- All sprinkler heads shall be set perpendicular to finish grade unless otherwise specified.
- The irrigation contractor shall flush and adjust all sprinkler heads and valves for optimum spray with minimal overspray onto walks, streets, walls, etc.
- This design is diagrammatic. All piping, valves, etc., shown within paved areas is for design clarification only and shall be installed in planting areas wherever possible. The contractor shall locate all valves in shrub areas where possible.
- It is the responsibility of the irrigation contractor to familiarize himself with all grade differences, location of walls, retaining walls, structures and utilities. The irrigation contractor shall repair or replace all items damaged by his work. He shall coordinate his work with other contractors for the location and installation of pipe sleeves through walls, under roadways and paving, etc.
- Do not willingly install the sprinkler system as shown on the drawings when it is obvious in the field that unknown obstructions, grade differences or differences in the area dimensions exist that might not have been considered in the engineering. Such obstructions or differences should be brought to the attention of the owner's authorized representative. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revisions necessary.
- All sprinkler equipment not otherwise detailed or specified shall be installed as per manufacturer's recommendations and specifications.
- The irrigation contractor shall install check valves on all heads in areas where finish grade exceeds 4:1, where post valve shut-off draining, of the irrigation head occurs or as directed by the owner's authorized representative.
- The contractor shall provide 1800 PCS (pressure compensating screens) as necessary to reduce or eliminate overspray onto streets, walks or other areas as directed by the owner's authorized representative.
- All remote control valves, gate valves, quick couplers, control wire and computer cable pull points shall be installed in approved valves boxes with covers. All shall be marked indicating controller and station numbers for control valve boxes and/or titled in the equipment legend with 1" white heat broided letters.
- All control wires shall be installed in PVC conduit, min #14 AWG.
- Installer is required to conduct final testing and adjustment to achieve design specification prior to completion of the system and acceptance by the owner or owner's representative.
- Contractor to provide owner with post construction documentation, including as-built drawings, recommended maintenance schedules and activities, operational schedule, design precipitation rates, system adjusting methods for decreasing water once landscape is established, water source and shutoff method and all operational guides for controller.
- A map of the system shall be kept in a readily available location with details for operation.
- If the water supply for irrigation system is a well water, a constant pressure flow control device of pressure tank is required to minimize pump "cycling".
- Check valves must be installed at irrigation heads as needed to prevent low head drainage and puddling.
- Nozzle precipitation rates for all heads within each valve circuit must be matched to within 20% of one another.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
EST RCS CST SST	Rain Bird 1812 15 Strip Series Shrub Spray 12.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	25
Q T H F	Rain Bird 1812 10 Series MPR Shrub Spray 12.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	10
Q T H F	Rain Bird 1812 12 Series MPR Shrub Spray 12.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	24
Q T H F	Rain Bird 1812 15 Series MPR Shrub Spray 12.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	13
BF	Watts U009 1-1/2" Reduced Pressure Backflow Preventer	1
C	Rain Bird TBO52-CH4 and TBO52-FTUS Battery-Operated Controller available in 4 models: 1, 2, 4, and 6, 4 stations, with TBO52-FTUS field transmitter.	1
R	Rain Bird RSD-CEX Rain Sensing Device, conduit mount. With threaded adapter, extension wire.	1
M	Water Meter 1"	1
---	Irrigation Lateral Line: PVC Class 160 SDR 26	1,048 LF
---	Irrigation Mainline: PVC Schedule 40	107.5 LF
---	Pipe Sleeve: PVC Schedule 40	201.1 LF

VALVE SCHEDULE NUMBER	MODEL	SIZE	TYPE	GPM	PSI	PSI @ POC	PRECIP
1	Rain Bird DV	1"	Shrub Spray	25.92	28.79	47.16	1.43 in/h
2	Rain Bird DV	1"	Shrub Spray	14.80	25.75	39.62	1.42 in/h
3	Rain Bird DV	1"	Shrub Spray	25.08	28.44	48.09	1.39 in/h
TOTALS:							

WATERING SCHEDULE NUMBER	MODEL	TYPE	PRECIP	IN./WEEK	MIN./WEEK	GAL./WEEK	GAL./DAY
1	Rain Bird DV	Shrub Spray	1.43 in/h	1	43	1,115	371.5
2	Rain Bird DV	Shrub Spray	1.42 in/h	1	43	636.4	212.1
3	Rain Bird DV	Shrub Spray	1.39 in/h	1	44	1,104	367.8
TOTALS:						130	2,854

Depth of coverage per Florida Building Code amended appendix F

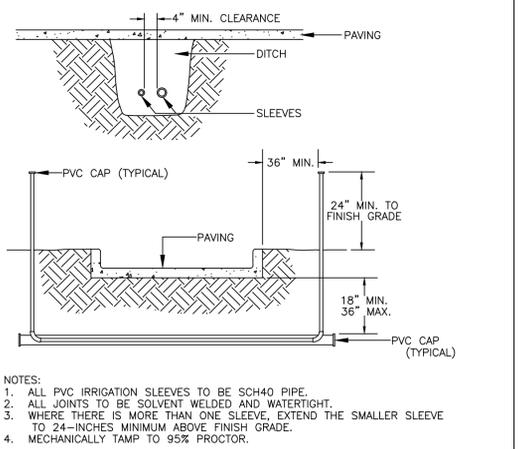
FOR NONTRAFFIC AND NONCULTIVATED AREAS:

Pipe Diameter	Minimum depth of Cover
1/2" through 1 1/4"	6" - 12"
1 1/2" through 2"	12" - 18"
2 1/2" through 3"	18" - 24"
6" and larger	24" - 36"

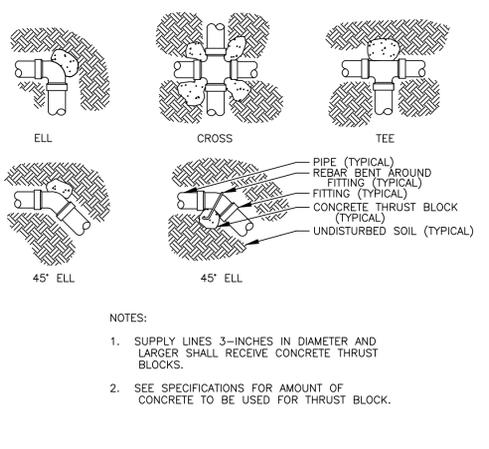
FOR VEHICLE TRAFFIC AREAS:

Pipe Diameter	Minimum depth of Cover
1/2" through 2 1/2"	18" - 24"
3" through 5"	24" - 30"
6" and larger	30" - 36"

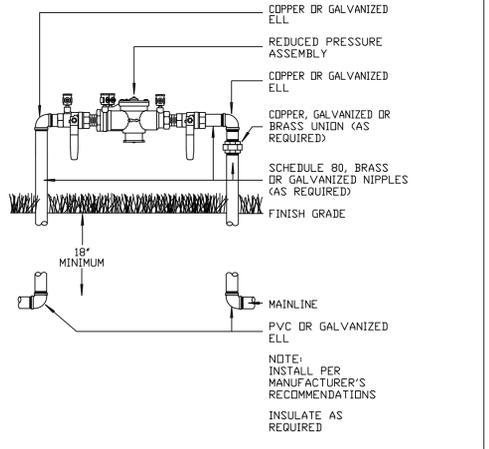
(7) DEPTH OF COVERAGE



(8) SLEEVING



(9) THRUST BLOCKS



(10) BACKFLOW BRP



CENTER FOR COLLABORATIVE ARCHITECTURE

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SEAL:

Damian Gonzalez P.E.
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P.E. No. 63910

OWNER: LEISURE APARTMENTS INC
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HALLANDALE, FL 33009

NO.	DRAWING ISSUE	DATE
#1	PER SITE CHANGE	06-25-20

LEISURE APARTMENTS
215 SE 4TH ST,
HALLANDALE BEACH,
FLORIDA 33009

PROJECT INFO:

IRRIGATION PLAN
SCHEDULE & DETAILS

IRRIGATION CONSULTANT:



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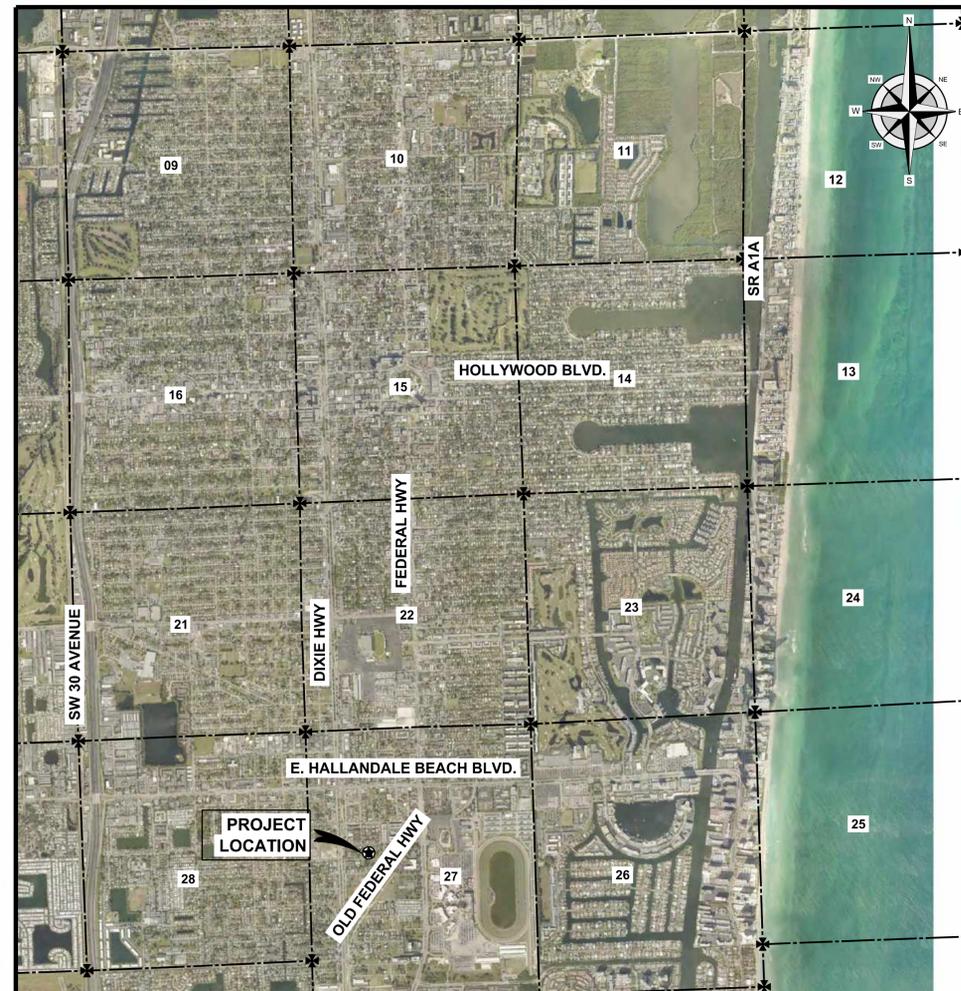
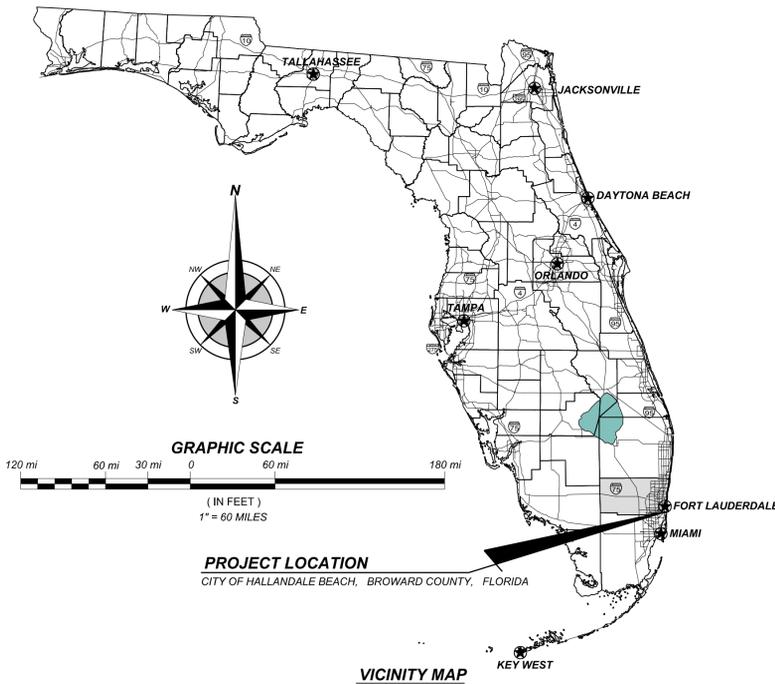
DRAWING INFO:
Project number 04-15-2020
Drawn by DG
Scale 3/32" = 1'-0"

IP-200
IRRIGATION PLAN

LEISURE APARTMENTS

S.E. 4th STREET, HALLANDALE BEACH, FL 33009
CITY OF HALLANDALE BEACH, BROWARD COUNTY, FLORIDA

LEISURE APARTMENTS, INC.



INDEX TO SHEETS

DESCRIPTION	SHEET NUMBER
SITE PLAN	SP 1 OF 1
CONCEPTUAL DEMOLITION PLAN	DP1 OF 1
CONCEPTUAL PAVING & DRAINAGE SYSTEM - PLAN	PD 1 OF 3
CONCEPTUAL PAVING & DRAINAGE SYSTEM - SECTIONS & DETAILS	PD2 OF 3
CONCEPTUAL PAVING & DRAINAGE SYSTEM - DETAILS	PD 3 OF 3
CONCEPTUAL PAVEMENT MARKINGS & SIGNAGE - PLAN & DETAILS	PM 1 OF 1
CONCEPTUAL FIRE MAIN, WATER & SEWER SERVICES - PLAN	WS1 OF 3
CONCEPTUAL FIRE MAIN, WATER & SEWER SERVICES - DETAILS	WS2 OF 3
CONCEPTUAL FIRE MAIN, WATER & SEWER SERVICES - DETAILS	WS3 OF 3
TEMPORARY POLLUTION PREVENTION - PLAN	TPP1 OF 3
TEMPORARY POLLUTION PREVENTION - GENERAL NOTES & DETAILS	TPP2 OF 3
TEMPORARY POLLUTION PREVENTION - DETAILS	TPP3 OF 3

PROJECT TEAM	
OWNER:	VICTOR E. TAURIZANO LEISURE APARTMENTS, INC. 215 SE 4th STREET HALLANDALE BEACH, FL 33009 TEL: 305-814-8668
ARCHITECT:	JORGE CASTRO, RA CCA DESIGN + ARCH, LLC. 1424 SW 23rd STREET MIAMI, FL 33145 TEL: 786-487-3724
LANDSCAPE ARCHITECT:	FABIO PEREZ FP DESIGN, LLC. 15438 SW 25th TERRACE MIAMI, FL 33185 TEL: 305-778-7136
M.E.P. ENGINEER:	JUAN J. BEDOYA, P.E. B&K ENGINEERING GROUP, LLC. 3801 NW 2nd AVENUE BOCA RATON, FL 33431 TEL: 561-716-7120
CIVIL ENGINEER:	WERNER T. VAUGHAN, P.E. WINNINGHAM & FRADLEY, INC. 111 NE 44th STREET OAKLAND PARK, FL 33334 TEL: 954-771-7440

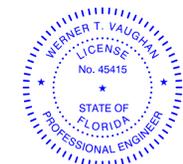
LEGAL DESCRIPTION:

LOTS 24, 25, 26, 27, 28, & 29, BLOCK 2 OF HALLANDALE PARK No.3 ACCORDING TO THE PLAT THEREOF, AS RECORDED PLAT BOOK 6, PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

GENERAL NOTES:

- ALL ELEVATIONS SHOWN REFER TO NORTH AMERICAN DATUM OF 1988 (N.A.V.D.)
- NFPF COMMUNITY NAME: CITY OF HALLANDALE
COMMUNITY No.: 125110
- FEMA MAP No.: 120011C0732H
FIRM INDEX DATE: 08-18-2014
FLOOD ZONE: AE 6 & X
- REFERENCE BENCHMARK: BROWARD COUNTY BENCHMARK # 3342, ELEVATION = 8.52 (N.G.V.D. 1929).

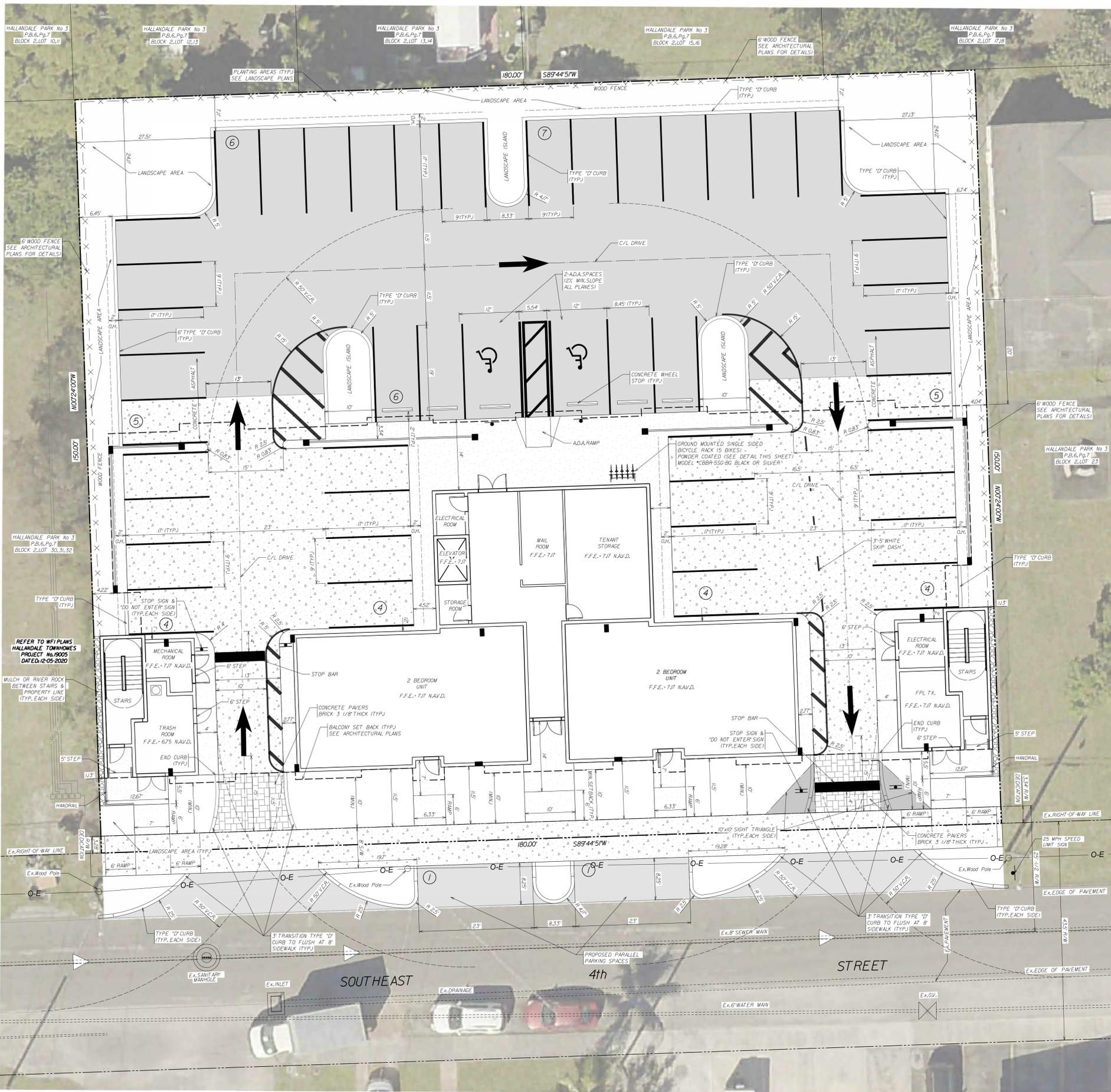
SITE PLAN



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NO.	REVISIONS	DATE
1	REVISED PER DRC COMMENTS - IN SUBMITTAL	06/26/2020



LEGAL DESCRIPTION:

LOTS 24, 25, 26, 27, 28, & 29, BLOCK 2 OF HALLANDALE PARK No.3 ACCORDING TO THE PLAT THEREOF, AS RECORDED PLAT BOOK 6, PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

NOTES:

1. FUTURE MILLING AND OVERLAY LIMITS DESIGN ON SE 4th STREET, INCLUDING APPLICABLE DETAILS, SHALL BE PROVIDED AT TIME OF FINAL CONSTRUCTION DRAWING PREPARATION AND PERMITTING. SPECIFICS ARE IDENTIFIED WITHIN THE DRC RESPONSES (H/R REVIEW) COMMENT NUMBER ONE (ENGINEERING DEPARTMENT COMMENTS).
2. NORTH SIDE OF SE 4th STREET SHALL BE REWORKED (PAVEMENT, BASE ROCK AND SUBBASE) AS REQUIRED TO ACHIEVE GRADES AS SHOWN ON PLANS.

ABBREVIATIONS	
A.D.A.	AMERICAN DISABILITIES ACT
P.B.	PLAT BOOK
Pg.	PAGE
R/W	RIGHT-OF-WAY
F.F.E.	FINISHED FLOOR ELEVATION
NAVD.	NORTH AMERICAN VERTICAL DATUM
S/W	SIDEWALK
O.H.	OVER HANG
B.C.R.	BROWARD COUNTY RECORDS
R.	RADIUS
D.I.P.	DUCTILE IRON PIPE
TYP.	TYPICAL
R.C.P.	REINFORCED CONCRETE PIPE
S.R.C.P.	SLOTTED REINFORCED CONCRETE PIPE
O.E.	OVERHEAD ELECTRICAL
V.C.R.	VEHICULAR CONTROL RADIUS
CL.F.	CHAINLINK FENCE

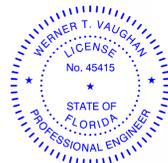
LEGEND	
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED PAVERS
	CONCRETE HARDSCAPE SURFACES
	MULCH OR RIVER ROCK
	PROPOSED TYPE 'D' CURB
	PROPOSED ROOF OVERHANG
	PROPOSED VEHICLE OVERHANG
	EXISTING PAVEMENT
	EXISTING DRAINAGE PIPE
	EXISTING CURB
	EXISTING CURB & GUTTER
	PROPERTY LINE
	RIGHT OF WAY LINE
	SECTION LINE
	EASEMENT LINE
	NUMBER OF PARKING SPACES
	EXISTING UTILITY STRUCTURES
	EXISTING FIRE HYDRANT
	EXISTING GATE VALVE
	COLUMN

OVERALL SITE DATA - LEISURE APARTMENTS			
PERVIOUS/IMPERVIOUS SITE DATA			
	AREA	IMPERVIOUS	
	SQ. FT.	ACRES	%
TOTAL GROSS SITE AREA	26,990	0.620	100.00%
RIGHT-OF-WAY DEDICATION	601	0.014	2.23%
BUILDING GROUND COVERAGE	4,849	0.111	17.97%
PAVEMENT	13,763	0.316	50.99%
SIDEWALK/CURBING/PAVERS	3,071	0.071	11.38%
GREEN SPACE	4,708	0.108	17.44%
TOTAL IMPERVIOUS	21,683	0.498	82.17%
TOTAL PERVIOUS	4,706	0.108	17.83%
TOTAL NET SITE AREA	26,389	0.606	100.00%

TRANSIT CORE SUBDISTRICT REQUIREMENTS (TABLE 32-196(a))			
	REQUIRED	PROVIDED	
LOT WIDTH	50 FT MINIMUM	180 FT	
LOT AREA	5,000 MIN / 100,000 MAX	26,389	
LOT COVERAGE	6% MAX	82.17%	
MINIMUM LANDSCAPE AREA	5% MIN	17.83%	
PRIMARY STREET / FRONT SETBACK	10 FT MIN / 15 FT MAX	10 FT	
INTERIOR SIDE SETBACK	0 FT	0 FT	
REAR SETBACK	10 FT MIN	66+ FT	
BUILDING FRONTAGE ON PRIMARY STREETS	75% MIN	100.00%	
MINIMUM HEIGHT PRIMARY STREETS	2 STORIES OR 20 FT	3 STORIES	
MAXIMUM DENSITY	60 DU/AC	39.52	
CIVIC OPEN SPACE	7.5% OR 1,979 SF	NONE	WAVYER REQUESTED

ON-SITE PARKING DATA			
USE	UNITS	RATIO	REQUIRED
MULTI FAMILY - ONE BEDROOM	18	1.25 / UNIT	23
MULTI FAMILY - TWO OR MORE BEDROOM	6	1.75 / UNIT	11
GUEST PARKING (FIRST 20 UNITS)	20	0.5 / UNIT	10
GUEST PARKING (UNITS 21-50)	4	0.3 / UNIT	1
TOTAL PARKING PROVIDED	48		45
TOTAL PARKING PROVIDED			45
HANDICAPPED PARKING REQUIRED			2
HANDICAPPED PARKING PROVIDED			2
BICYCLE PARKING REQUIRED			2
BICYCLE PARKING PROVIDED			5
OFFSITE PARKING PROVIDED			2

ZONING DISTRICT	CENTRAL RAC - TRANSIT CORE
PROPOSED ZONING	CENTRAL RAC - TRANSIT CORE



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SITE PLAN
LEISURE APARTMENTS
LEISURE APARTMENTS, INC.

WINNINGHAM & FRADLEY, INC.
ENGINEERS - PLANNERS - SURVEYORS
111 N.E. 44th STREET, OAKLAND PARK, FL 33304 (954) 784-7200 WWW.WINNINGHAMANDFRADLEY.COM

DESIGNED: WTV	DATE: 03/2020	APPROVED:	EB-0002999
DRAWN: JAG	DATE: 03/2020		LB-0002999
CHECKED: OSB	DATE: 04/2020	PROJECT NUMBER	19031
REVISED PER DRC COMMENTS - UP SUBMITTAL	06/26/2020	SHEET	SPI OF 1
NO.	REVISIONS	DATE	PUBLISHED: 7/1/2020, 10:40:07 AM



ABBREVIATIONS	
ADA	AMERICAN DISABILITIES ACT
P.B.	PLAT BOOK
Pg.	PAGE
RAW	RIGHT-OF-WAY
F.F.E.	FINISHED FLOOR ELEVATION
N.A.V.D.	NORTH AMERICAN VERTICAL DATUM
S/W	SIDEWALK
O.H.	OVER HANG
B.C.R.	BROWARD COUNTY RECORDS
R.	RADIUS
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O-E	OVERHEAD ELECTRICAL
V.C.R.	VEHICULAR CONTROL RADIUS
CLF.	CHANLINK FENCE

LEGEND	
	EXISTING PAVEMENT
	EXISTING DRAINAGE PIPE
	EXISTING CURB
	EXISTING CURB & GUTTER
	PROPERTY LINE
	RIGHT OF WAY LINE
	SECTION LINE
	EASEMENT LINE
	EXISTING UTILITY STRUCTURES
	EXISTING FIRE HYDRANT
	EXISTING GATE VALVE
	EXISTING CLF.

NOTES:
 1. REFER TO LANDSCAPE PLANS FOR TREE REMOVAL AND MITIGATION. THE CITY OF HALLANDALE SHALL BE NOTIFIED PRIOR TO THE REMOVAL OF EXISTING WATER METERS AND METERS SHALL BE RETURNED TO CITY UTILITIES.



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CONCEPTUAL DEMOLITION PLAN

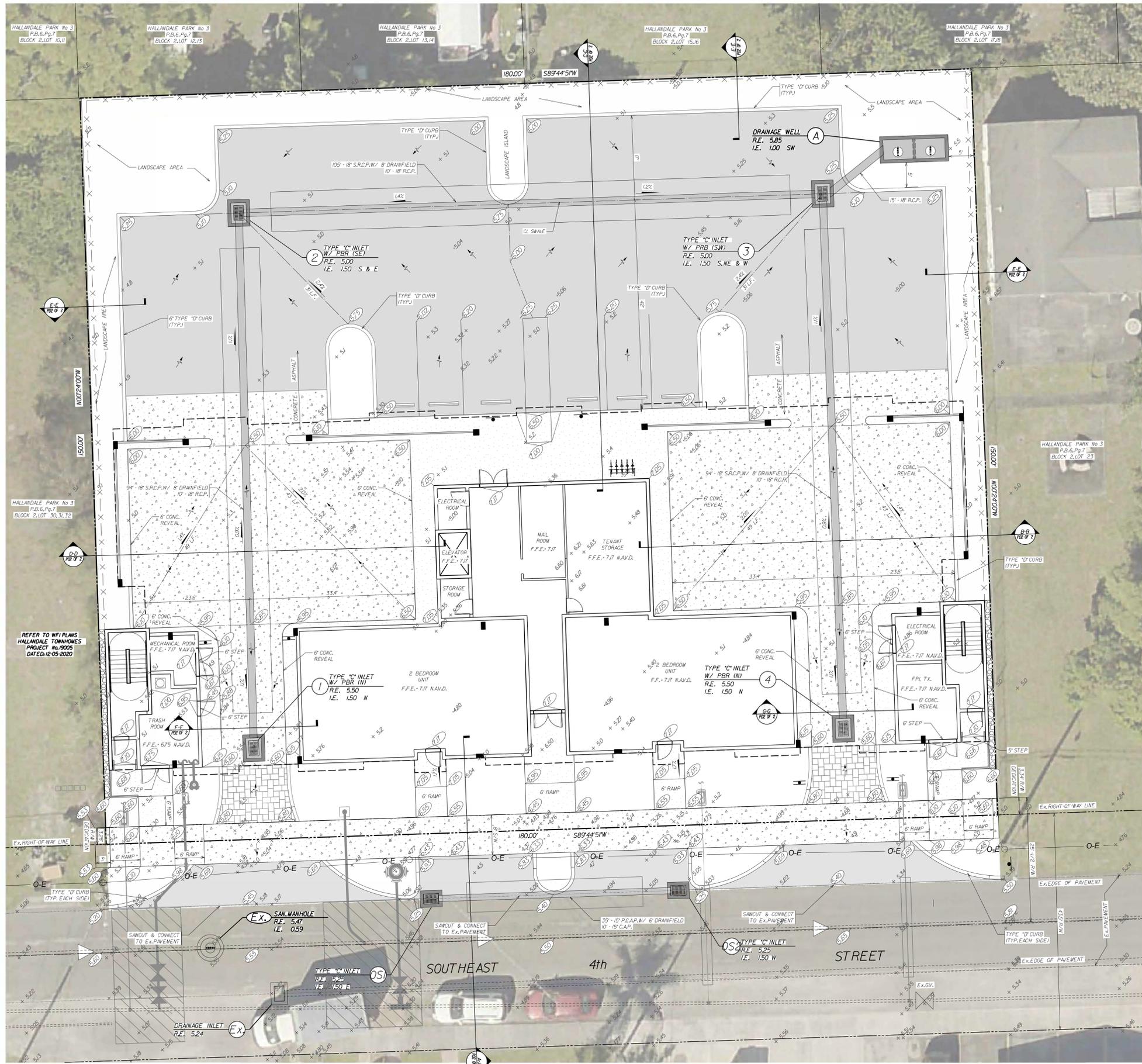
LEISURE APARTMENTS
LEISURE APARTMENTS, INC.

WINNINGHAM & FRADLEY, INC.
ENGINEERS • PLANNERS • SURVEYORS
111 N.E. 44th STREET, CHANDLER PARK, FL 33534 • 888-771-9441 • FAX 888-771-6286 • www.winningham.com

DESIGNED: WTV	DATE: 03/2020	APPROVED:	EB-0002995
DRAWN: AMF	DATE: 03/2020		LB 0002995
CHECKED: GSB	DATE: 04/2020		

PROJECT NUMBER: 19031 SHEET: DPI OF 1

NO.	REVISIONS	DATE	PUBLISHED:
1	REVISED PER DRC COMMENTS - UP SUBMITTAL	06/26/2020	7/1/2020, 10:26:25 AM



ABBREVIATIONS	
ADA	AMERICAN DISABILITIES ACT
P.B.	PLAT BOOK
Pg.	PAGE
R/W	RIGHT-OF-WAY
F.F.E.	FINISHED FLOOR ELEVATION
NAVD.	NORTH AMERICAN VERTICAL DATUM
S/W	SIDEWALK
O.H.	OVER HANG
B.C.R.	BROWARD COUNTY RECORDS
R.	RADIUS
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C.L.F.	CHAINLINK FENCE

LEGEND	
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED PAVERS
	CONCRETE HARDSCAPE SURFACES
	MULCH OR RIVER ROCK
	PROPOSED TYPE 'D' CURB
	PROPOSED ROOF OVERHANG
	PROPOSED VEHICLE OVERHANG
	EXISTING PAVEMENT
	EXISTING DRAINAGE PIPE
	EXISTING CURB
	EXISTING CURB & GUTTER
	PROPERTY LINE
	RIGHT OF WAY LINE
	SECTION LINE
	EASEMENT LINE
	NUMBER OF PARKING SPACES
	EXISTING UTILITY STRUCTURES
	EXISTING FIRE HYDRANT
	EXISTING GATE VALVE
	PROPOSED FINISH GRADE
	PROPOSED DIRECTION OF OVERLAND FLOW
	PROPOSED DRAINAGE INLET / MANHOLE
	PROPOSED EXFILTRATION TRENCH
	WATER METER BOX, METERS & BACKFLOW PREVENTOR
	PROPOSED SANITARY CLEAN OUT
	PROPOSED DCOV
	PROPOSED SIAMASE CONNECTION
	PROPOSED GATE VALVE
	PROPOSED 45BEND
	PROPOSED TEE
	PROPOSED FIRE HYDRANT

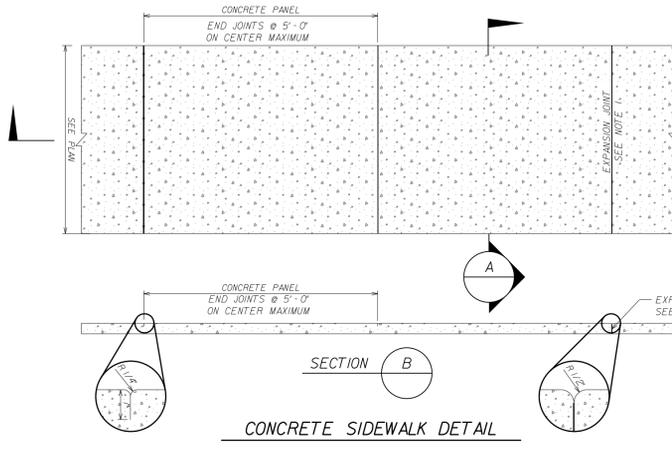
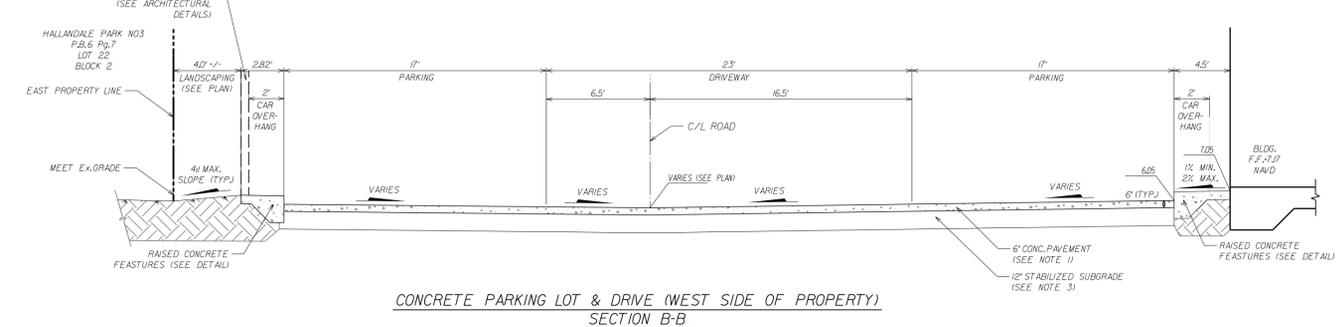
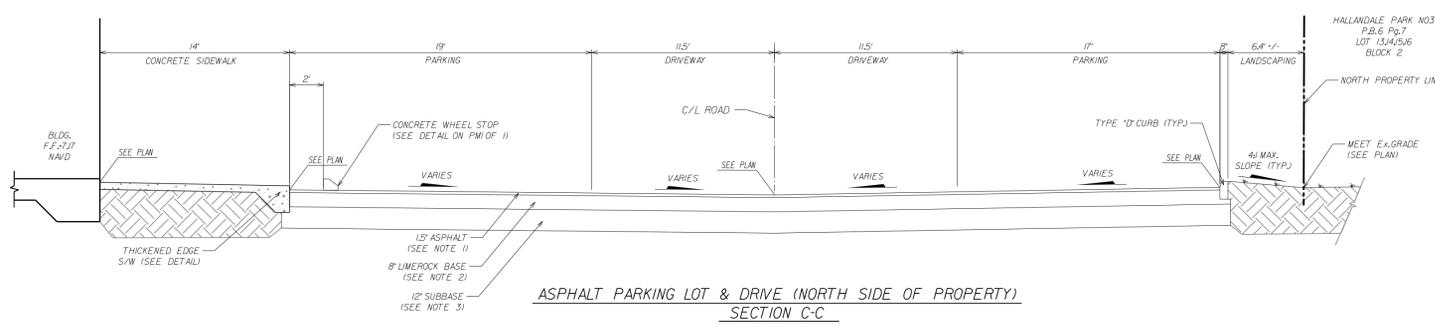
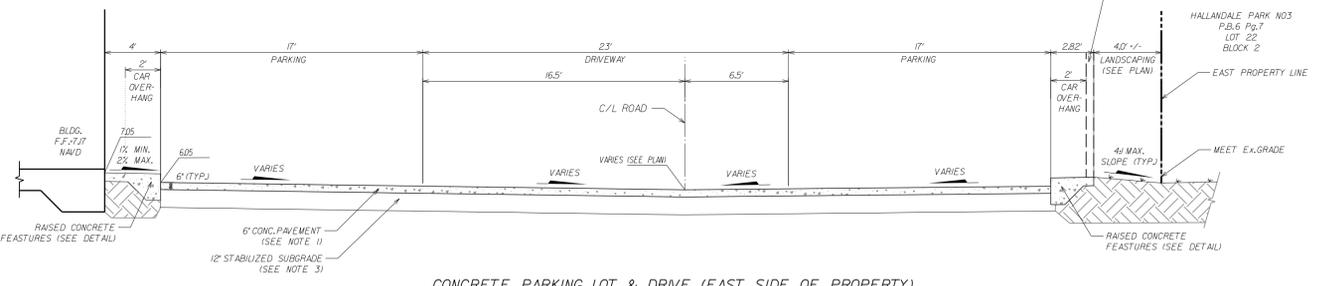
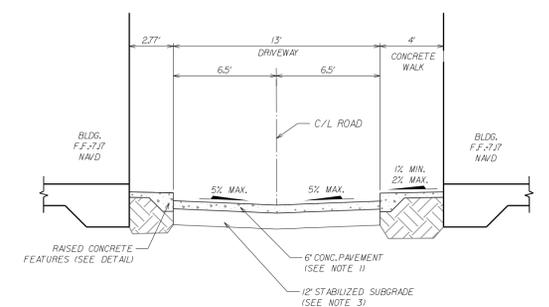
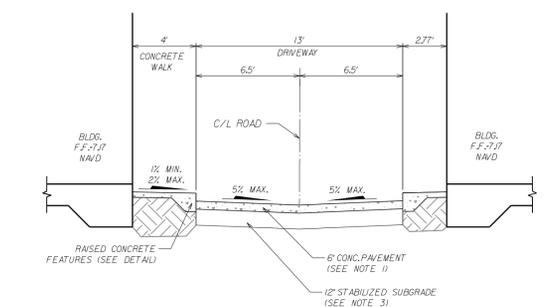
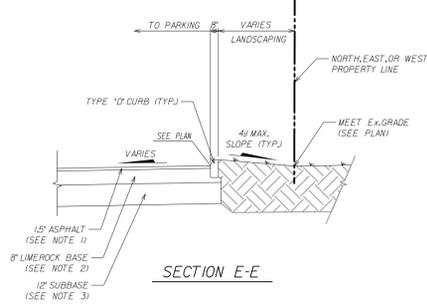
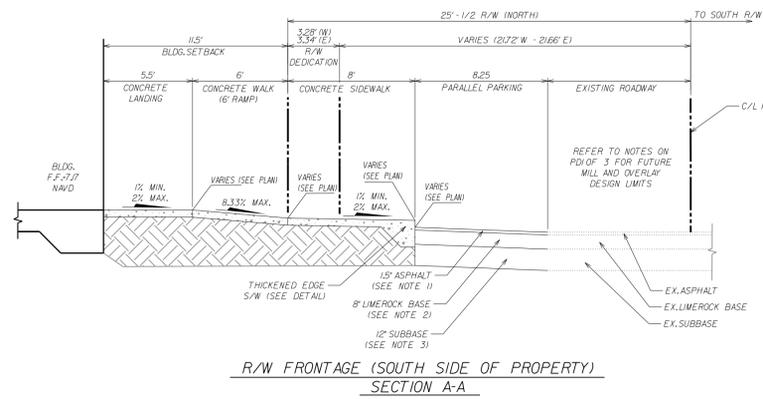
- NOTES:
- ALL ELEVATIONS SHOWN REFER TO NORTH AMERICAN DATUM OF 1988 (NAVD.)
 - FEMA FLOOD MAP No.12510-0732-H,ZONE AE (6D NAVD.) DATED AUGUST 18,2014.
 - 100 YEAR FLOOD ELEVATION 7.00 NAVD.,PER BROWARD COUNTY E.P.G.M.D.SURFACE WATER MANAGEMENT DIVISION.
 - GROUNDWATER ELEVATION 1.50 NAVD.,PER BROWARD COUNTY E.P.G.M.D.SURFACE WATER MANAGEMENT DIVISION.
 - CONTRACTOR SHALL CONTACT THE CITY OF HALLANDALE BEACH ENGINEERING DEPARTMENT AT (954) 457-1397 FOR N.P.D.E.S.AND FORM INSPECTIONS.

- NOTES:
- FUTURE MILLING AND OVERLAY LIMITS DESIGN ON SE 4th STREET, INCLUDING APPLICABLE DETAILS, SHALL BE PROVIDED AT TIME OF FINAL CONSTRUCTION DRAWING PREPARATION AND PERMITTING SPECIFICS ARE IDENTIFIED WITHIN THE D.P.C. RESPONSES (1st REVIEW) COMMENT NUMBER ONE (ENGINEERING DEPARTMENT COMMENTS).
 - NORTH SIDE OF SE 4th STREET SHALL BE REWORKED (PAVEMENT, BASE ROCK AND SUBBASE) AS REQUIRED TO ACHIEVE GRADES AS SHOWN ON PLANS



CONCEPTUAL PAVING & DRAINAGE SYSTEM PLAN
LEISURE APARTMENTS

DESIGNED: WTV DATE: 03/2020		APPROVED: EB-0002995	
DRAWN: JAB DATE: 03/2020		LB 0002995	
2	REVISED PER DPC COMMENTS - 1st SUBMITTAL	06/26/2020	CHECKED: OSB DATE: 04/2020
1	REVISED PER DESIGN INFORMATION & SHW CALCULATIONS	04/20/2020	
NO.	REVISIONS	DATE	PUBLISHED: 7/2/2020, 4:50:19 PM



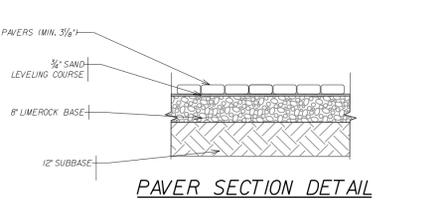
- SIDEWALK NOTES:**
1. PROVIDE 1/8\"/>

- CONCRETE PAVEMENT NOTES:**
1. CONSTRUCTION SHALL CONFORM TO ALL REQUIREMENTS OF ACI 330 UNLESS OTHERWISE NOTED.
 2. CONCRETE SHALL BE 4000 PSI AT 28 DAYS AND HAVE A BROOM FINISH.
 3. ALL ORGANIC AND YIELDING MATERIAL WITHIN THE LIMITS SHOWN SHALL BE REMOVED AND REPLACED WITH CLEAN FILL. THE SUB-BASE SHALL EXTEND 12\"/>

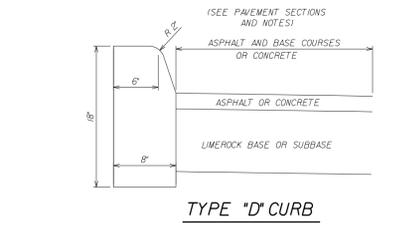
- PAVEMENT NOTES:**
1. THE WEARING SURFACE SHALL BE INSTALLED IN TWO LIFTS. THE FIRST LIFT SHALL BE 3/4\"/>



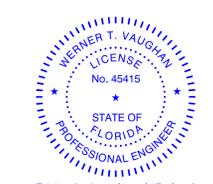
- NOTES:**
1. SIDEWALK JOINTS SHALL BE IN ACCORDANCE WITH FOOT LATEST DESIGN STANDARDS.
 2. CONCRETE STRENGTH SHALL BE 3000 PSI MINIMUM AND SHALL HAVE A MINIMUM 470 LB/CCY OF PORTLAND CEMENT AND A MAXIMUM WATER TO CEMENT RATIO OF 0.55 LBS/LB.
 3. MINIMUM SIDEWALK THICKNESS SHALL BE 4 INCHES.
 4. SEE THIS SHEET FOR ADDITIONAL STANDARD SIDEWALK DETAILS.



- NOTES:**
1. 8\"/>

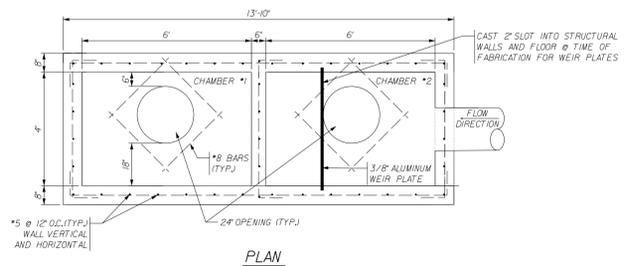


- GENERAL NOTES:**
1. FOR CURB, HEADER CURB AND CURB & GUTTER PROVIDE 1/8\"/>

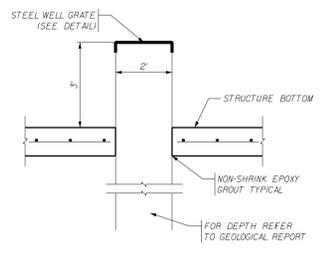


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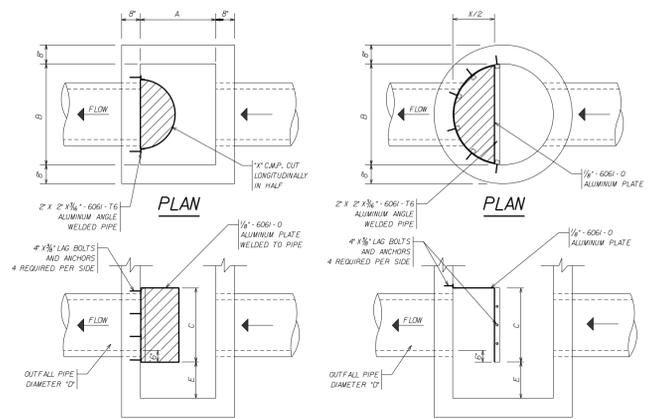
CONCEPTUAL PAVING & DRAINAGE SYSTEM SECTIONS - DETAILS			
LEISURE APARTMENTS LEISURE APARTMENTS, INC.			
WINNINGHAM & FRADLEY, INC. ENGINEERS - PLANNERS - SURVEYORS			
DESIGNED:	WTV	DATE:	03/2020
DRAWN:	JAB	DATE:	03/2020
REVISOR:	DATE:	CHECKED:	GSB DATE: 04/2020
NO.	REVISIONS	DATE:	PUBLISHED: 7/1/2020, 12:20:31 PM
PROJECT NUMBER			19031
SHEET			PD2 OF 3



- DRAINAGE WELL NOTES**
1. DRAINAGE WELL SHALL HAVE A MIN CAPACITY OF 300 GPM PER FOOT OF AVAILABLE HEAD.
 2. WELL DRILLER SHALL OBTAIN AN FDEP PERMIT AND PROVIDE BCPED AND THE ENGINEER OF RECORD WITH CERTIFICATION OF CONSTRUCTION COMPLETION REPORT AS REQUIRED BY PERMIT.
 3. WELL GRATE TO BE HOT DIP GALVANIZED AFTER FABRICATION.
 4. THE CERTIFIED WELL DRILLER SHALL DEVELOP THE WELL TO A DEPTH WHERE THE GROUND WATER CONTAINS A MIN OF 10000 PPM OF TOTAL DISSOLVED SOLIDS AND 1500 PPM OF CHLORIDES.
 5. CONTRACTOR SHALL PROVIDE A BASE BID FOR THE EXPECTED WELL DEPTH, PROVIDED BY WELL DRILLER WITH AN ADD/ DEDUCT FOR EVERY FOOT ABOVE OR BELOW THE BASE BID THE FINAL WELL DEPTH SHALL BE WITHIN 25% OF THE BASE BID PRICE.



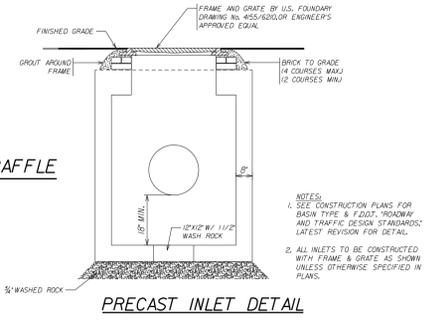
DRAINAGE WELL GRATE DETAIL



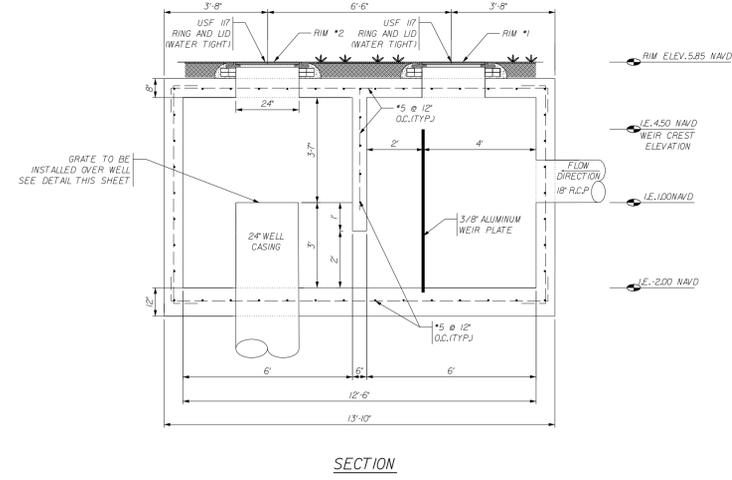
SECTION RECTANGULAR STRUCTURE
SECTION CIRCULAR STRUCTURE

BAFFLE SCHEDULE					
D	A	B	C	E	X
15'	24"	37"	2'-3"	1'-6"	18"
18'	24"	37"	2'-6"	1'-6"	24"
21'	30"	36"	2'-9"	1'-6"	27"
24'	36"	36"	3'-0"	1'-6"	30"
30'	36"	42"	3'-6"	1'-7"	36"
36'	42"	54"	4'-0"	2'-2"	48"
42'	48"	60"	4'-8"	2'-6"	54"
48'	48"	66"	5'-0"	2'-10"	60"

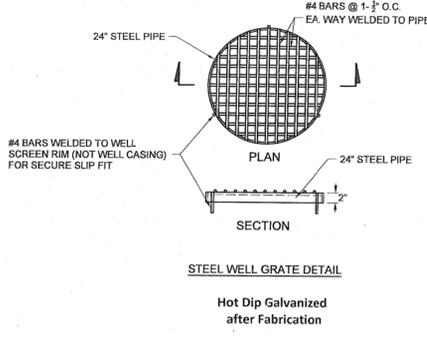
POLLUTION RETARDANT BAFFLE BASIN DETAIL



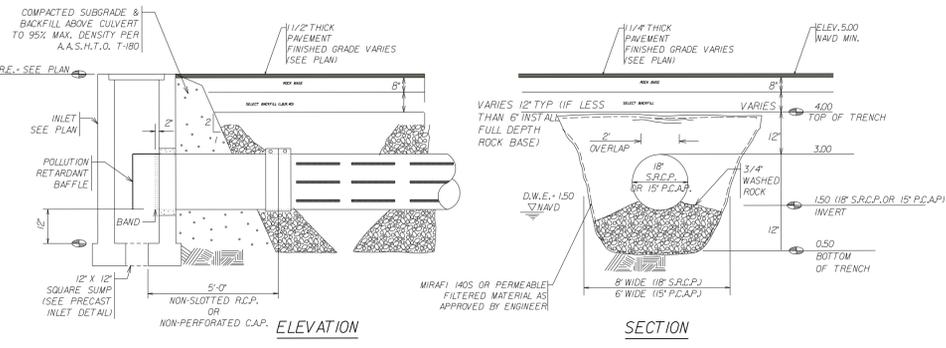
PRECAST INLET DETAIL



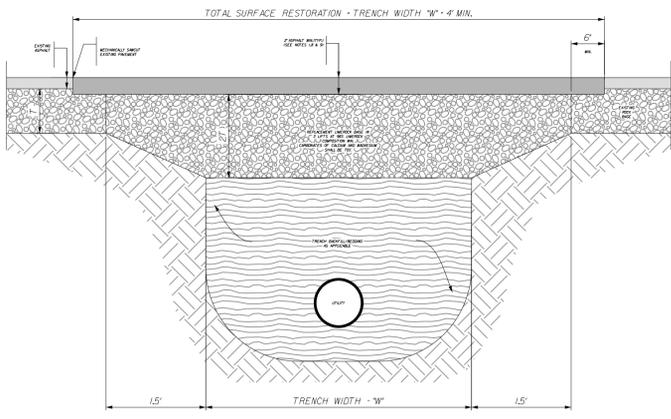
TWO CHAMBER DRAINAGE WELL STRUCTURE DETAILS



STEEL WELL GRATE DETAIL
Hot Dip Galvanized after Fabrication

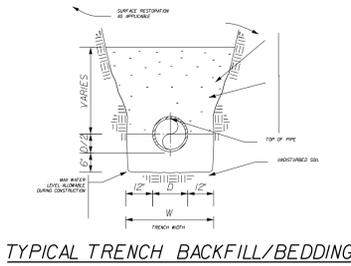


EXFILTRATION TRENCH DETAIL

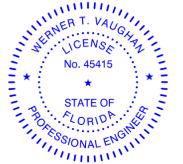


- PAVEMENT RESTORATION NOTES:**
1. THE WEARING SURFACE SHALL BE INSTALLED IN TWO LIFTS. THE FIRST LIFT SHALL BE 1" OF TYPE SP-95 ASPHALTIC CONCRETE OVER PRIME COAT AND SAND SEAL. THE SECOND LIFT SHALL BE 1" OF TYPE SP-95 ASPHALTIC CONCRETE (APPLY TACK COAT BETWEEN LIFTS). SECOND LIFT TO BE INSTALLED AFTER FINAL LANDSCAPING.
 2. PREPARE BASE SECTION, SAW CUT EXISTING PAVEMENT AS APPLICABLE. PRIME COAT, TACK COAT AND PLACE ASPHALT PATCH IMMEDIATELY FOLLOWING PIPE INSTALLATION.
 3. BASE MATERIAL SHALL BE UNEROCK, HAVE A MINIMUM LBR OF 100, AND HAVE A MINIMUM CARBONATE CONTENT OF 70%. THE BASE MATERIAL SHALL BE COMPACTED TO A DENSITY OF NOT LESS THAN 98% OF MAXIMUM DENSITY AS PER AASHTO T-99.
 4. BASE SHALL BE PLACED IN 6" MAXIMUM THICKNESS LAYERS WITH EACH LAYER COMPACTED AS REQUIRED AND TESTED PRIOR TO THE PLACEMENT OF THE SUCCEEDING LAYERS.
 5. SUBGRADE MATERIAL SHALL BE GRANULAR AND ANGULAR, SHALL HAVE A MINIMUM LBR OF 40, AND SHALL BE COMPACTED TO 100% OF MAXIMUM DRY DENSITY AS PER AASHTO T-99.
 6. BACKFILL SHALL BE PLACED AND COMPACTED IN 6" LAYERS, BUT TESTING WILL BEGIN 12" ABOVE THE INSTALLED FACILITY.
 7. ALL EDGES OF EXISTING ASPHALT PAVEMENT THAT ADJUT RESURFACING SHALL BE SAW CUT IN STRAIGHT LINES PARALLEL TO OR PERPENDICULAR TO THE ROADWAY PRIOR TO RESURFACING.
 8. RESURFACING MATERIAL SHALL BE CONSISTENT WITH SURROUNDING SURFACE, AND SHALL BE APPLIED IN 2 LIFTS, A MINIMUM OF 1" IN THICKNESS WHEN USING SP-95 PAVEMENT.
 9. IF EXISTING ASPHALT THICKNESS EXCEEDS 2", MINIMUM THICKNESS OF NEW ASPHALT SHALL BE 2.5" OF SP-95 PAVEMENT INSTALLED IN 2 LIFTS.
 10. TRAFFIC STRIPES SHALL NOT BE PLACED DIRECTLY ON TOP OF THE JOINT.

PAVEMENT RESTORATION DETAIL



TYPICAL TRENCH BACKFILL/BEDDING



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Professional Engineer
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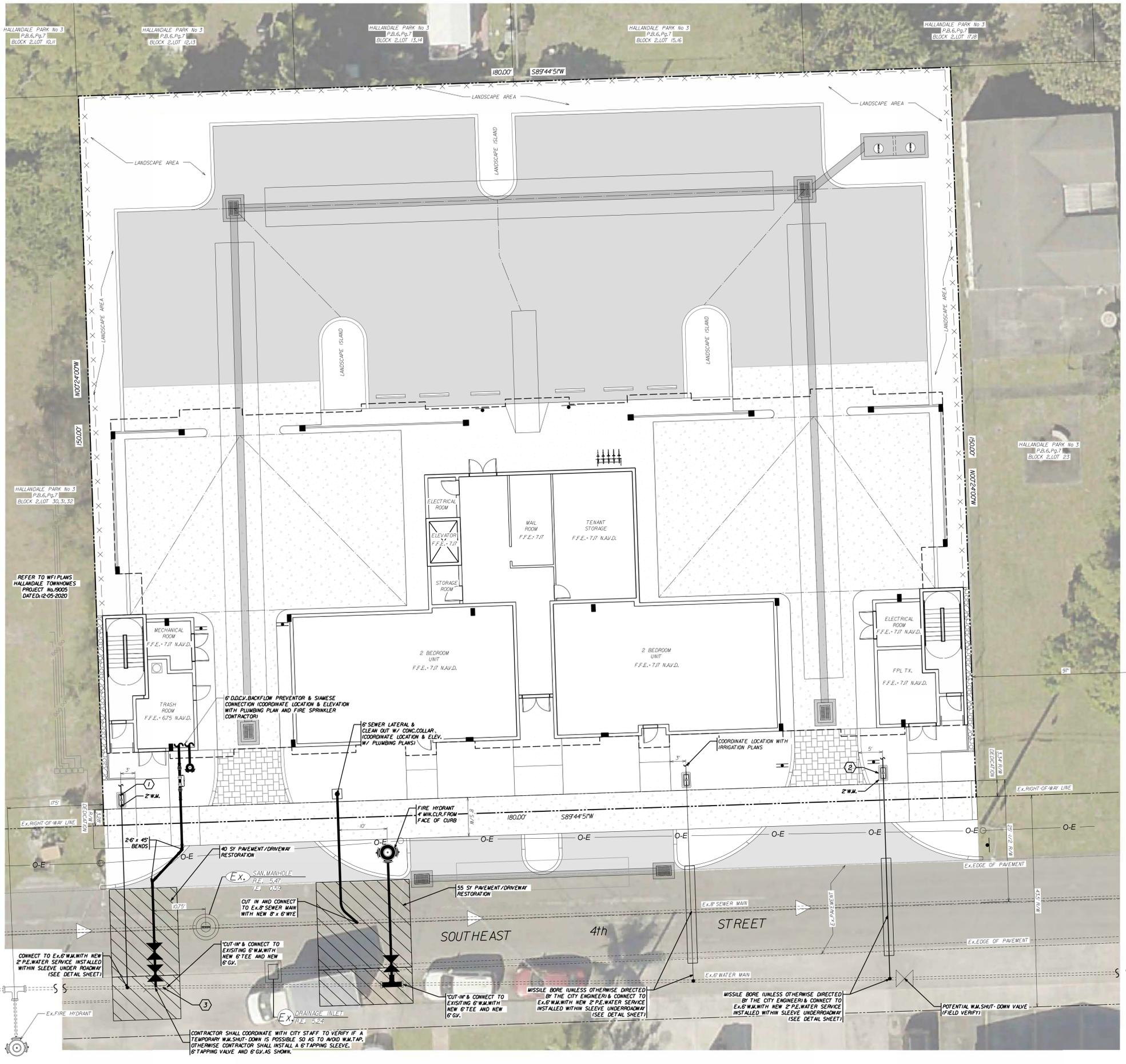
CONCEPTUAL PAVING & DRAINAGE SYSTEM DETAILS

LEISURE APARTMENTS
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DESIGNED: WTV	DATE: 03/2020	APPROVED:	EB-0002995
DRAWN: JAB	DATE: 03/2020		LB-0002995
REVISION 2: REVISED PER DRC COMMENTS - 1st SUBMITTAL	06/26/2020	CHECKED: GSB	DATE: 04/2020
REVISION 1: REVISED PER GEOTECHNICAL, WINDSTORM & SIM CALCULATIONS	04/25/2020		
NO. _____	REVISIONS _____	DATE _____	PUBLISHED: 7/11/2020, 05:32:07 AM

PROJECT NUMBER: 19031
SHEET: PD3 OF 3



SCALE: 1" = 10'
FOR 24" x 36" DRAWING

ABBREVIATIONS	
ADA	AMERICAN DISABILITIES ACT
P.B.	PLAT BOOK
Pg.	PAGE
R/W	RIGHT-OF-WAY
F.F.E.	FINISHED FLOOR ELEVATION
NAVD.	NORTH AMERICAN VERTICAL DATUM
S/W	SIDEWALK
O.H.	OVER HANG
B.C.R.	BROWARD COUNTY RECORDS
R.	RADIUS
D.I.P.	DUCTILE IRON PIPE
TYP.	TYPICAL
R.C.P.	REINFORCED CONCRETE PIPE
S.R.C.P.	SLOTTED REINFORCED CONCRETE PIPE
O.E.	OVERHEAD ELECTRICAL
V.C.R.	VEHICULAR CONTROL RADIUS
C.L.F.	CHAINLINK FENCE

LEGEND	
[Symbol]	PROPOSED ASPHALT PAVEMENT
[Symbol]	PROPOSED CONCRETE PAVEMENT
[Symbol]	PROPOSED PAVERS
[Symbol]	CONCRETE HARDSCAPE SURFACES
[Symbol]	MULCH OR RIVER ROCK
[Symbol]	PROPOSED TYPE 'D' CURB
[Symbol]	PROPOSED ROOF OVERHANG
[Symbol]	PROPOSED VEHICLE OVERHANG
[Symbol]	EXISTING PAVEMENT
[Symbol]	EXISTING DRAINAGE PIPE
[Symbol]	EXISTING CURB
[Symbol]	EXISTING CURB & GUTTER
[Symbol]	PROPERTY LINE
[Symbol]	RIGHT OF WAY LINE
[Symbol]	SECTION LINE
[Symbol]	EASEMENT LINE
[Symbol]	NUMBER OF PARKING SPACES
[Symbol]	BIOLOGICAL SAMPLE POINT
[Symbol]	EXISTING UTILITY STRUCTURES
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	EXISTING GATE VALVE
[Symbol]	PROPOSED FINISH GRADE
[Symbol]	PROPOSED DIRECTION OF OVERLAND FLOW
[Symbol]	PROPOSED DRAINAGE INLET/ MANHOLE
[Symbol]	PROPOSED EXFILTRATION TRENCH
[Symbol]	WATER METER BOX, METERS & BACKFLOW PREVENTOR
[Symbol]	PROPOSED SANITARY CLEAN OUT
[Symbol]	PROPOSED ODCV
[Symbol]	PROPOSED SIEMENSE CONNECTION
[Symbol]	PROPOSED GATE VALVE
[Symbol]	PROPOSED 45BEND
[Symbol]	PROPOSED TEE
[Symbol]	PROPOSED FIRE HYDRANT

REFER TO WPI PLANS
HALLDALE TOWNHOMES
PROJECT No. 19005
DATE: 12-05-2020



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CONCEPTUAL FIRE MAIN, WATER AND SEWER SERVICES PLAN

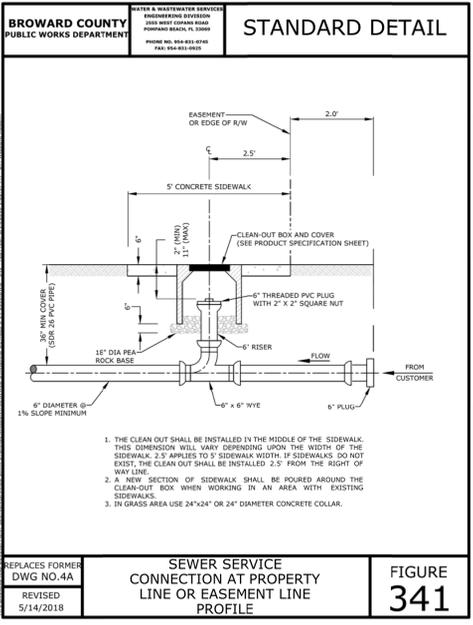
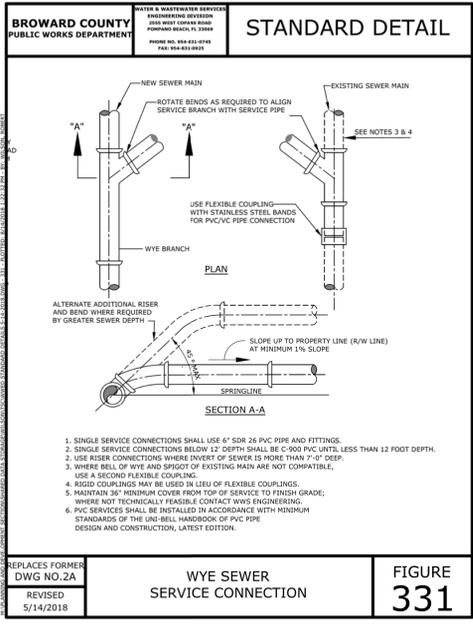
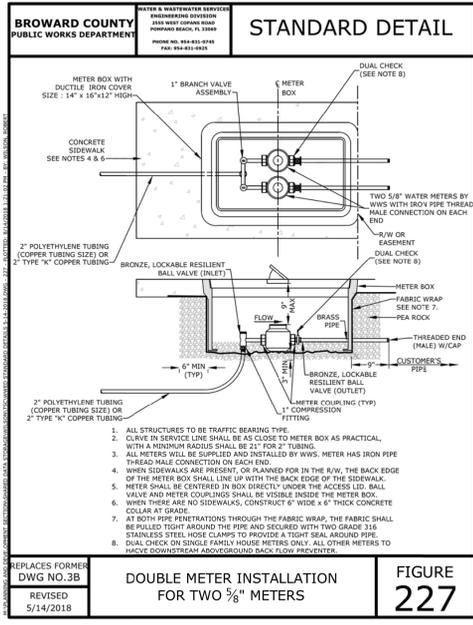
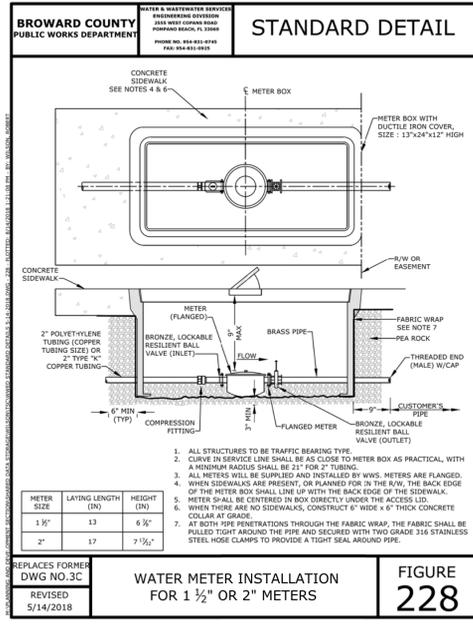
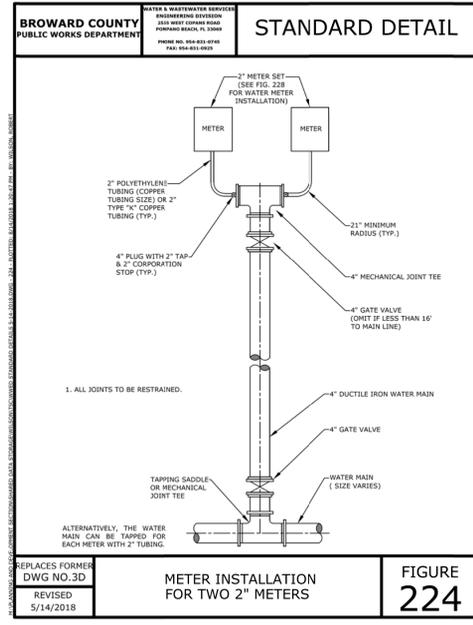
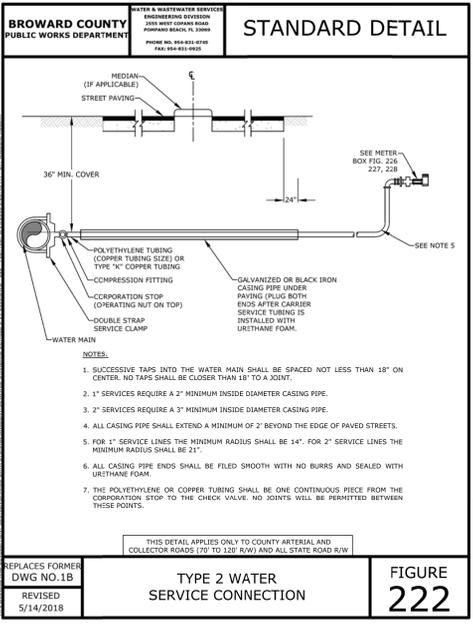
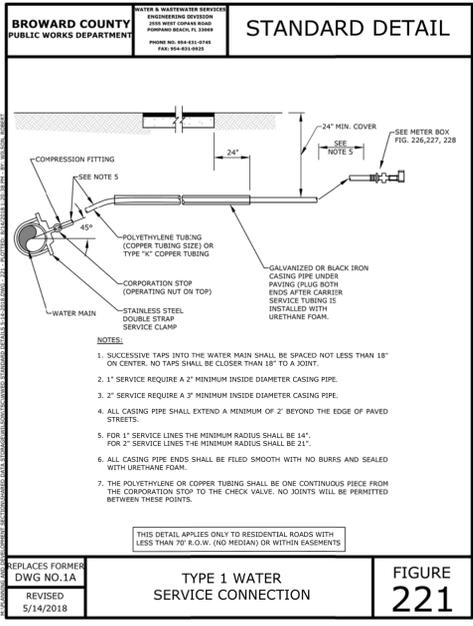
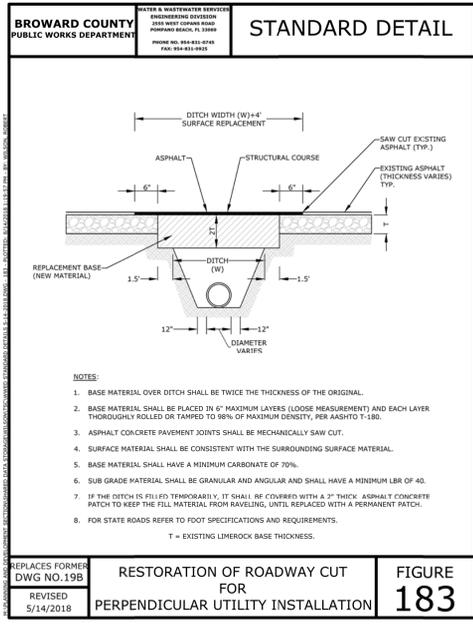
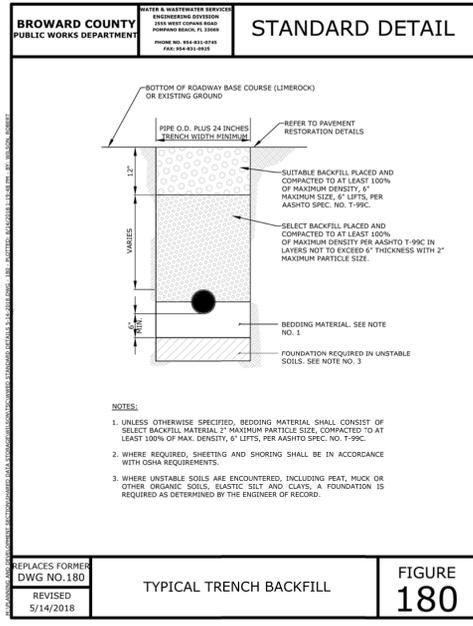
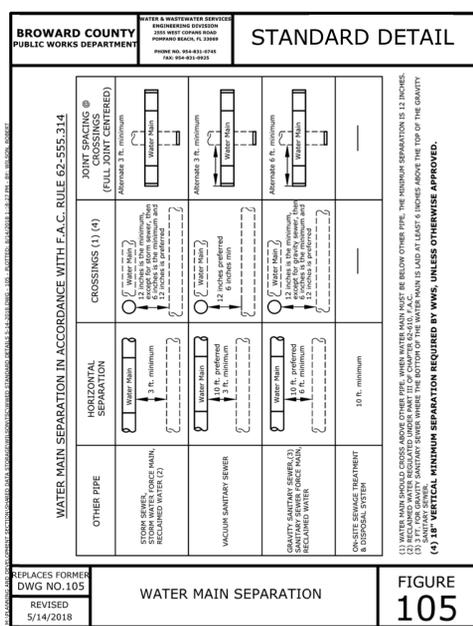
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DESIGNED: WTV	DATE: 03/2020	APPROVED:	EB-0002995
DRAWN: JAB	DATE: 03/2020		LB 0002995
CHECKED: GSB	DATE: 04/2020		

PROJECT NUMBER	19031	SHEET	WSI OF 3
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Werner T. Vaughan FL. P.E. 45415
07/02/2020



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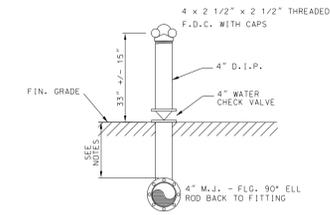
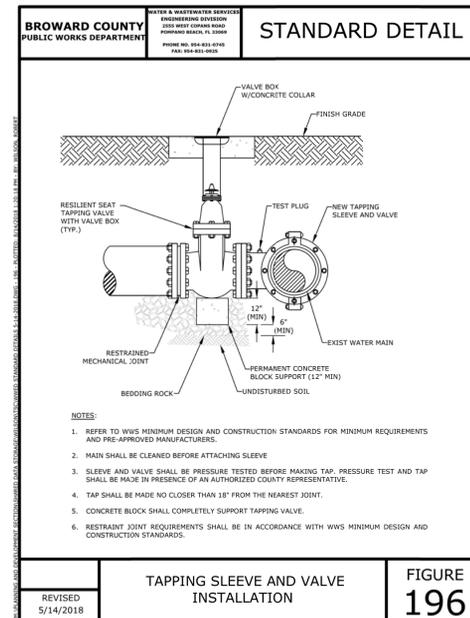
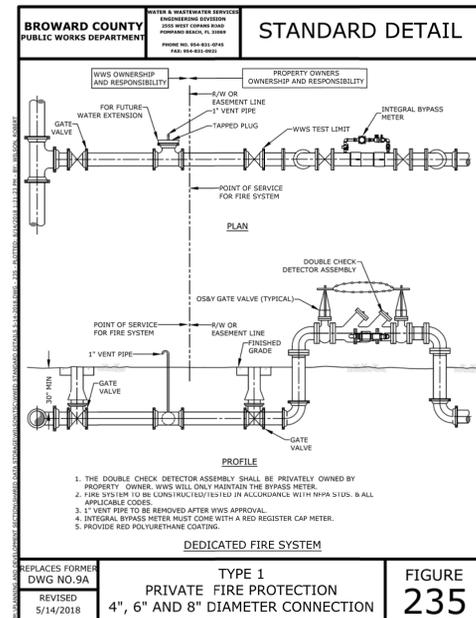
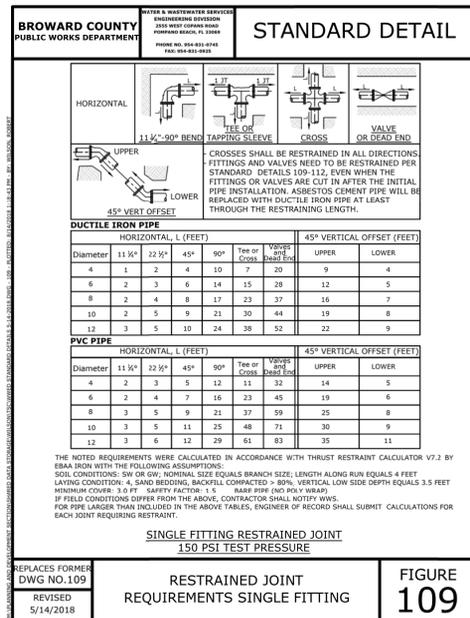
CONCEPTUAL FIRE MAIN, WATER AND SEWER SERVICES
DETAILS

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DESIGNED: WTV	DATE: 03/2020	APPROVED:	EB-0002999
DRAWN: JAB	DATE: 03/2020		LB 0002999
CHECKED: GSB	DATE: 04/2020		
PUBLISHED: 6/30/2020, 9:42:25 AM		PROJECT NUMBER: 19031	SHEET: WS2 OF 3

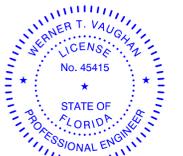
Werner T. Vaughan P.E. 45415
07/02/2020



THERE SHALL BE NO SHUT OFF VALVE IN THE FIRE DEPARTMENT CONNECTION.
NFPA 24 2-6.3

- NOTES:
1. DEPTH OF COVER TO TOP OF PVC UNDERGROUND PIPING SHALL BE NOT LESS THAN 36" MINIMUM.
2. DEPTH OF COVER TO TOP OF DIP UNDERGROUND PIPING SHALL BE NOT LESS THAN 30" MINIMUM.

STANDARD FIRE DEPARTMENT CONNECTION DETAIL



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DESIGNED: WTV	DATE: 03/2020	APPROVED:	EB-0002995 LB 0002995
DRAWN: JAB	DATE: 03/2020		
CHECKED: GSB	DATE: 04/2020		
PUBLISHED: 6/30/2020, 9:44:44 AM		PROJECT NUMBER: 19031	SHEET: WS3 OF 3

COUNTY REQUIREMENTS

CONTROLS
THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND TURBIDITY CAUSED BY STORM WATER RUN OFF, AN EROSION AND TURBIDITY PLAN HAS BEEN PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS. IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALL AND MAINTAIN THE CONTROLS PER PLAN AS WELL AS ENSURING THE PLAN IS PROVIDING THE PROPER PROTECTION AS REQUIRED BY FEDERAL, STATE AND LOCAL LAWS. REFER TO CONTRACTORS RESPONSIBILITY FOR A VERBAL DESCRIPTION OF CONTROLS THAT MAY BE IMPLEMENTED.

STORM WATER MANAGEMENT
STORM WATER DRAINAGE WILL BE PROVIDED BY SFJ.W.M.D.
STORM WATER RUNOFF WILL BE COLLECTED BY SWALE SYSTEM AND DISCHARGED INTO MASTER STORM WATER SYSTEM VIA OVERLAND FLOW.

TIMING OF CONTROLS/MEASURES
REFER TO CONTRACTORS RESPONSIBILITY FOR THE TIMING OF CONTROL/MEASURES

CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS
IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS RELATED TO STORM WATER MANAGEMENT AND EROSION AND TURBIDITY CONTROLS, THE PERMITS ARE SHOWN ON THE COVER PAGE OF THESE CONSTRUCTION PLANS.
DEP. PERMIT

POLLUTION PREVENTION PLAN CERTIFICATION
I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION. THE INFORMATION SUBMITTED IS TO THE BEST OF MY KNOWLEDGE AND BELIEF TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

SIGNED:
(SEE SIGNATURE BLOCK AT BOTTOM OF PAGE)

CONTRACTOR'S REQUIREMENTS

GENERAL
THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTORS REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS. DEPENDING ON THE NATURE OF MATERIALS AND METHODS OF CONSTRUCTION THE CONTRACTOR MAY BE REQUIRED TO ADD FLOCCULANT TO RETENTION SYSTEM PRIOR TO PLACING THE SYSTEM INTO OPERATION.

SEQUENCE OF MAJOR ACTIVITIES
THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. INSTALL SILT FENCES AND HAY BALES AS REQUIRED.
3. CLEAR AND GRUB FOR DIVERSION SWALES/DIKES AND SEDIMENT BASIN.
4. CONSTRUCT SEDIMENTATION BASIN.
5. CONTINUE CLEARING AND GRUBBING.
6. STOCKPILE TOP SOIL IF REQUIRED.
7. PERFORM PRELIMINARY GRADING ON SITE AS REQUIRED.
8. STABILIZE DENuded AREAS AND STOCKPILE AS SOON AS PRACTICABLE.
9. INSTALL UTILITIES, STORM SEWER, CURBS & GUTTERS
10. APPLY BASE TO PROJECT.
12. COMPLETE GRADING AND INSTALL PERMANENT SEEDING/SOD AND PLANTING.
13. REMOVE ACCUMULATED SEDIMENT FROM BASINS.
14. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE ANY TEMPORARY DIVERSION SWALES/DIKES AND RESEED/SOD AS REQUIRED.

TIMING OF CONTROLS/MEASURES
AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES AND HAY BALES, STABILIZED CONSTRUCTION ENTRANCE AND SEDIMENT BASIN WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRUBBING OF ANY OTHER PORTIONS OF THE SITE. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA THAT AREA WILL BE STABILIZED PERMANENTLY IN ACCORDANCE WITH THE PLANS. UNTIL THE ENTIRE SITE IS STABILIZED THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAPS AND THE EARTH DIKE/SWALES WILL BE REGRADED/REMOVED AND STABILIZED IN ACCORDANCE WITH THE EROSION & TURBIDITY CONTROL PLAN.

CONTROLS
IT IS THE CONTRACTORS RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IT IS ALSO THE CONTRACTORS RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN AND ADD ADDITIONAL CONTROL MEASURES AS REQUIRED TO ENSURE THE SITE MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED BY THE EROSION AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATORY AGENCIES.

EROSION AND SEDIMENT CONTROLS STABILIZATION PRACTICES

1. HAY BALE BARRIERS/HAY BALE BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:
A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.
B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.
C. WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS.
D. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF STRAW BALE.
E. BARRIERS CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHERE THERE IS THE POSSIBILITY OF A WASHOUT. IF NECESSARY, MEASURES SHALL BE TAKEN TO PROPERLY ANCHOR BALES TO INSURE AGAINST WASHOUT.

2. FILTER FABRIC BARRIER/FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:
A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.
B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.

3. BRUSH BARRIER WITH FILTER FABRIC/BRUSH BARRIER MAY BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WHERE ENOUGH RESIDUE MATERIAL IS AVAILABLE ON SITE.

4. LEVEL SPREADER/A LEVEL SPREADER MAY BE USED WHERE SEDIMENT-FREE STORM RUNOFF IS INTERCEPTED AND OVERTED AWAY FROM THE GRADED AREAS ONTO UNDISTURBED SOIL AND THE AREA BELOW THE LEVEL UP IS STABILIZED. THE WATER SHOULD NOT BE ALLOWED TO RECONCENTRATE AFTER RELEASE.

5. STOCKPILING MATERIAL/NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY.

6. EXPOSED AREA LIMITATION/THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL NOT EXCEED 10 ACRES. THIS REQUIREMENT MAY BE WAIVED FOR LARGE PROJECTS WITH AN EROSION CONTROL PLAN WHICH DEMONSTRATES THAT OPENING OF ADDITIONAL AREA WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS.

7. INLET PROTECTION /INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LADEN STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.

8. TEMPORARY SEEDING/AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN 30 DAYS SHALL BE SEEDDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING.

9. TEMPORARY SEEDING AND MULCHING/SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 8 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LODGE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH.

10. TEMPORARY GRASSING/THE SEEDED OR SEEDED AND MULCHED AREAS SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER TEMPORARY GRASSING IN THE CONTRACT SPECIFICATIONS.

11. TEMPORARY REGRASSING/IF, AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 15 PERCENT COVER, THE CONTRACTOR SHALL RESEED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER.

12. MAINTENANCE/ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.

13. PERMANENT EROSION CONTROL/THE CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFFSITE FACILITIES.

14. PERMANENT SEEDING/ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION SHALL AS A MINIMUM, BE SEEDDED. THE SEEDED MIX MUST PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROWTH SEASONAL VEGETATION. SLOPES STEEPER THAN 4:1 SHALL BE SEEDDED AND MULCHED OR SODDED.

STRUCTURAL PRACTICES

1. TEMPORARY DIVERSION DIKES/TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY.
THE FOLLOWING SEDIMENT TRAPS MAY BE CONSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION DIKE:
A. BLOCK & GRAVEL SEDIMENT FILTER/THE PROTECTION IS APPLICABLE WHERE HEAVY FLOWS AND/OR WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE.
B. GRAVEL SEDIMENT TRAP-THE PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURE & UNPROTECTED AREAS.
C. DROP INLET SEDIMENT TRAP-THE PROTECTION IS APPLICABLE WHERE THE INLET DRAWS A RELATIVELY FLAT AREA (SLOPE) AND WHERE SHEET OR OVERLAND FLOW IS OF SUCH A NATURE THAT THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS SUCH AS IN STREET OR HIGHWAY MEDIANS.

2. TEMPORARY SEDIMENT TRAP/A SEDIMENT TRAP SHALL BE INSTALLED IN AN DRAINAGE WAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA.
THE FOLLOWING SEDIMENT TRAPS MAY BE CONSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION DIKE:
A. BLOCK & GRAVEL SEDIMENT FILTER/THE PROTECTION IS APPLICABLE WHERE HEAVY FLOWS AND/OR WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE.
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3. OUTLET PROTECTION/APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNEL SECTIONS WHERE THE FLOW COULD CAUSE EROSION AND SEDIMENT PROBLEM TO THE RECEIVING WATER BODY. SILT FENCES AND HAY BALES ARE TO BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE DISCHARGING STRUCTURE AS SHOWN ON THE OUTLET PROTECTION DETAIL.

4. SEDIMENT BASIN/WILL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE TIME. THE PROPOSED STORM WATER PONDS OR TEMPORARY PONDS WILL BE CONSTRUCTED FOR USE AS SEDIMENT BASIN. THESE SEDIMENT BASIN MUST PROVIDE A MINIMUM OF 3600 CUBIC FEET OF STORAGE PER ACRE DRAINAGE UNTIL FINAL STABILIZATION OF THE SITE. THE 3600 CUBIC FEET OF STORAGE AREA PER DRAINAGE DOES NOT APPLY TO FLOWS FROM OFFSITE AREAS AND FLOWS ONSITE AREAS THAT ARE EITHER UNDISTURBED OR HAVE UNDERGONE FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH THE DISTURBED AREA AND THE SEDIMENT BASIN. ANY TEMPORARY SEDIMENT BASIN CONSTRUCTED MUST BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL. ALL SEDIMENT COLLECTED IN PERMANENT OR TEMPORARY SEDIMENT TRAPS MUST BE REMOVED UPON FINAL STABILIZATION.

OTHER CONTROLS

WASTE DISPOSAL
WASTE MATERIALS
ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPLOYED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT. THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTE

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

SANITARY WASTE
ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER SYSTEMS.

OFFSITE VEHICLE TRACKING
A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE ENTRANCE WILL BE SWEPT DAILY TO REMOVE ANY EXCESS MUD/DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE SITE WILL BE COVERED WITH A TARP/AUIN. (SEE DETAILS THIS SHEET)

INVENT. FOR POLLUTION PREVENTION PLAN

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION:

- CONCRETE
- ASPHALT
- TAR
- DETERGENTS
- FERTILIZER
- WOOD
- PETROLEUM BASED PRODUCTS
- MASONRY BLOCKS
- CLEANING SOLVENTS
- PAINTS
- ROOFING MATERIALS
- METAL STUDS
-
-

SPILL PREVENTION

MATERIAL MANAGEMENT PRACTICES
THE FOLLOWING ARE THE MATERIAL PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.
GOOD HOUSEKEEPING
THE FOLLOWING HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT:
AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
ALL MATERIALS STORED ONSITE WILL BE IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND/BE POSSIBLY UNDER A ROOF OR OTHER ENCLOSURE.
PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.
SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ONSITE RECEIVE PROPER USE AND DISPOSAL.

HAZARDOUS MATERIALS

THESE PRACTICES ARE USE TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.
PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED IF THEY CONTAIN IMPORTANT PRODUCT INFORMATION.
IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES

PETROLEUM PRODUCTS
ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
FERTILIZERS
FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.
CONCRETE TRUCKS
CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE, OR DRUM WASH ON THE SITE.

SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL BE INCLUDED BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, COGGLES, LIQUID ADSORBENT, KATYTY LITTER OR EQUALS, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL.
THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE/SHE WILL DESIGNATE AT LEAST ONE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IF APPLICABLE, IN THE OFFICE TRAILER ONSITE.

MAINTENANCE/INSPECTION PROCEDURES

EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES
THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS.
NO MORE THAN 10 ACRES OF THE SITE WILL BE DENUED AT ONE TIME WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.
ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOMEONE APPOINTED BY THE SUPERINTENDENT, AT LEAST ONCE A WEEK AND FOLLOWING ANY STORM EVENT OF 0.25 INCHES OR GREATER.
ALL TURBIDITY CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.
SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT FENCE POSTS ARE FIRMLY IN THE GROUND.
THE SEDIMENT BASIN WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB, WHICHEVER COMES FIRST. DIVERSION DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. A REPORT SHALL BE COMPLETED BY HIS/HER INSPECTOR OR ENGINEER OF RECORD.

THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER OR AN FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND EROSION PLANS, STORM WATER MANAGEMENT PLANS.

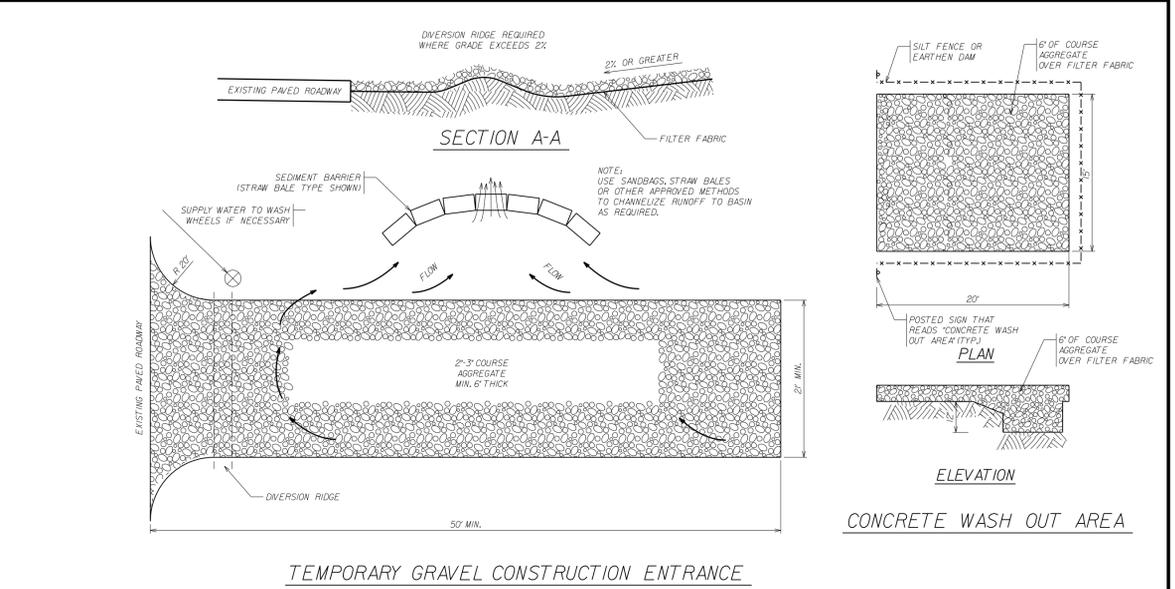
THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THE SITE IS FINALLY STABILIZED AND THE NOTICE OF TERMINATION IS SUBMITTED. THE REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.

THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTION, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.

PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER.

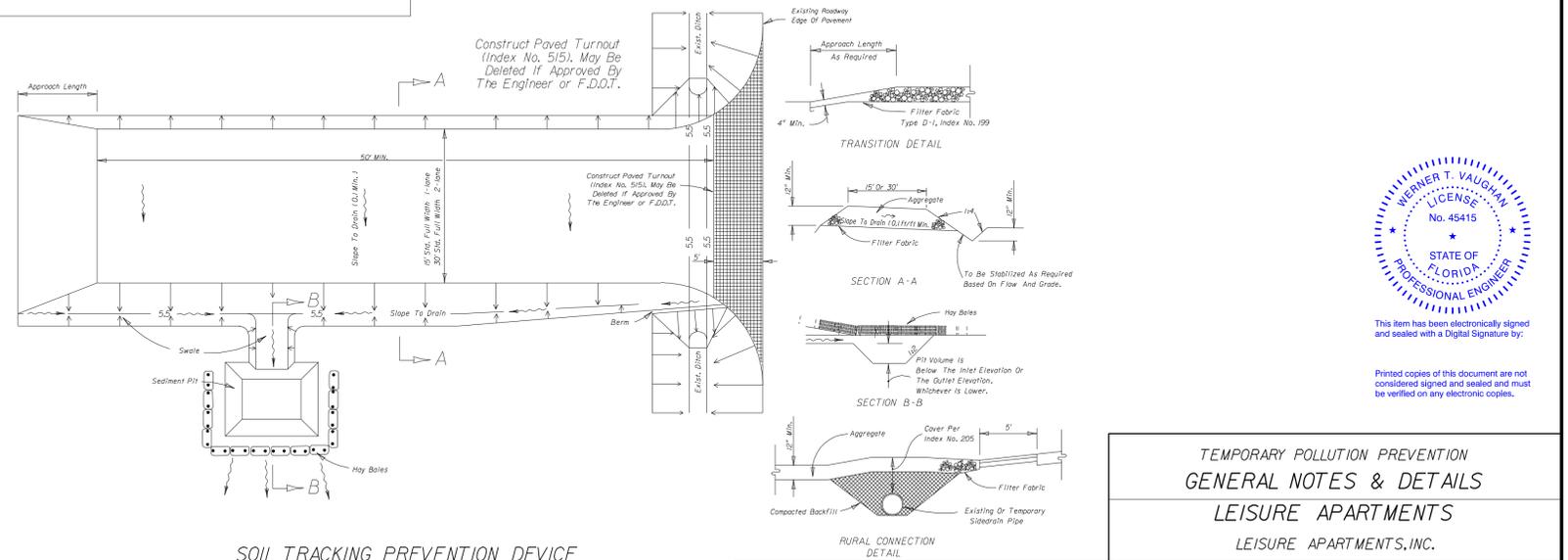
NON-STORM WATER DISCHARGES
IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:
WATER FROM WATER LINE FLUSHING
PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).
UNCONTAMINATED GROUND WATER FROM Dewatering EXCAVATION.

CONTRACTORS CERTIFICATION
I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.



GENERAL NOTES

1. A Soil Tracking Prevention Device (STPD) shall be constructed at locations designated by the engineer & city at preconstruction meeting for point of egress from unutilized areas of the project to public roads where off site tracking of mud could occur. Traffic from unutilized areas of the construction project shall be directed thru a STPD. Barriers flagging, or other passive means shall be used as required to limit and direct vehicular egress across the STPD.
2. The Contractor may propose an alternative technique to minimize off site tracking of sediment. The alternative must be reviewed and approved by the Engineer prior to its use.
3. All materials spilled, dropped, or tracked onto public roads (including the STPD aggregate and construction mud) shall be removed daily, or more frequently if so directed by the Engineer.
4. Aggregates shall be as described in Section 901 excluding 901-2.5. Aggregates shall be F200 size #16 to #18 if it is not available, the next available smaller size aggregate may be substituted with the approval of the Engineer. Sizes containing excessive small aggregate will track off the project and are unusable.
5. The sediment pit should provide a retention volume of 3600 cubic feet/acre of surface area draining to the pit. When the STPD is located from other drainage areas, the following pit volumes will satisfy this requirement:
15' x 50' - 100 113 30' x 50' - 200 113
As an option to the sediment pit, the width of the swale bottom can be increased to obtain the volume. When the sediment pit or swale volume has been reduced to one half, it shall be cleaned. When a swale is used, hay bales or silt fence shall be placed along the entire length.
6. The swale ditch draining the STPD shall have a 0.2% minimum and a 1.0% maximum grade along the STPD and to the sediment pit.
7. Mitered end sections are not required when the sitedrain pipe satisfies the clear zone requirements.
8. The STPD shall be maintained in a condition that will allow it to perform its function. To prevent off site tracking, the STPD shall be rinsed daily when in use to move accumulated mud downward thru the stone. Additional stabilization of the vehicular route leading to the STPD may be required to limit the mud tracked.
9. A STPD shall be paid for under the contract unit price for Soil Tracking Prevention Device, E.A. The unit price shall constitute full compensation for construction, maintenance, replacement of materials, removal, and restoration of the area utilized for the STPD, including but not limited to excavation, grading, temporary pile (including MES) when required, filter fabric, aggregate, paved turnout (including asphalt and base construction), ditch stabilization, approach route stabilization, sediment removal and disposal, water, rising and cleaning of the STPD and cleaning of public roads, grassing and sod. Hay bales shall be paid for under the contract unit price for Hay or Straw Bales, E.A. Silt fence shall be paid for under the contract unit price for Staked Silt Fence, L.F.
10. The nominal size of a standard STPD is 15' x 50' unless otherwise shown in the plans. If the volume of entering and exiting vehicles warrants a 30' width STPD may be used. If approved by the Engineer, when a double width (30') STPD is used, the pay quantity shall be 2 for each location.



SOIL TRACKING PREVENTION DEVICE

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				DESIGNED: WFI DATE: 03/20/20	
				DRAWN: JAB DATE: 03/20/20	
				CHECKED: GSB DATE: 04/20/20	
				PROJECT NUMBER: 19031	SHEET: TFP2 OF 3

TEMPORARY POLLUTION PREVENTION GENERAL NOTES & DETAILS

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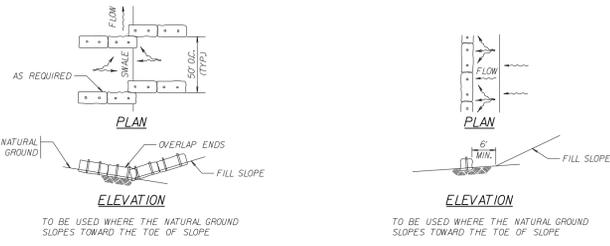
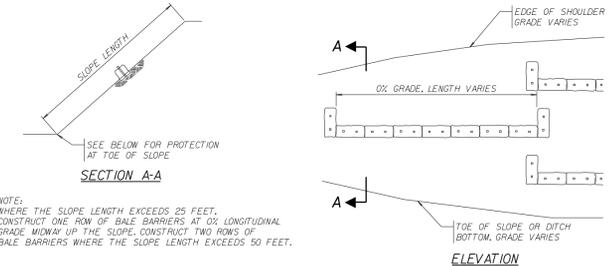
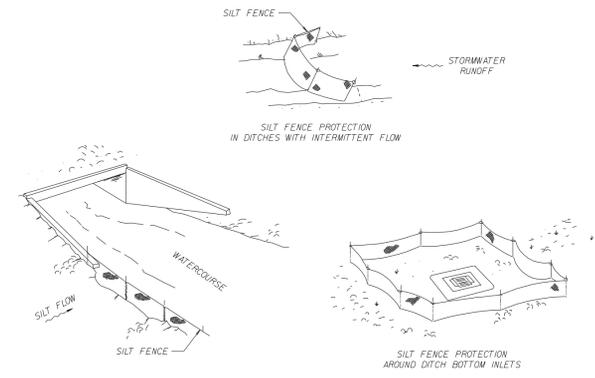
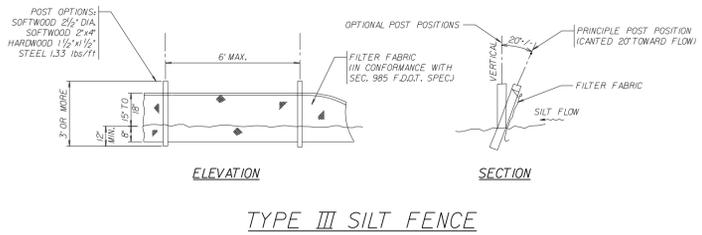
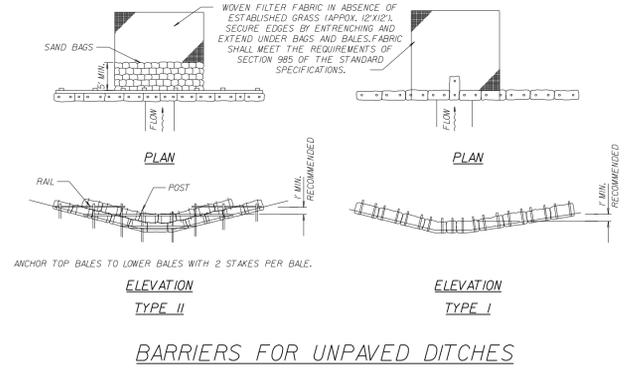
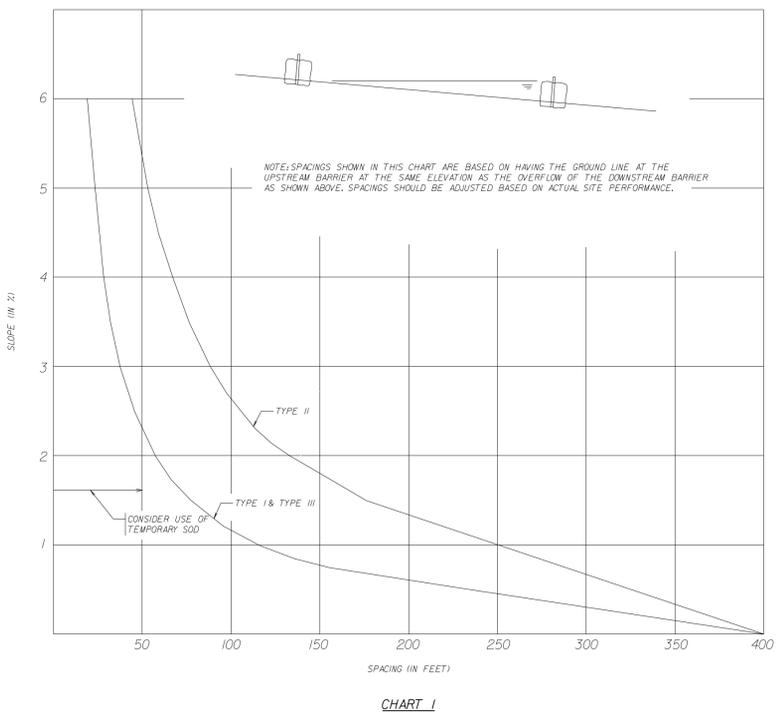
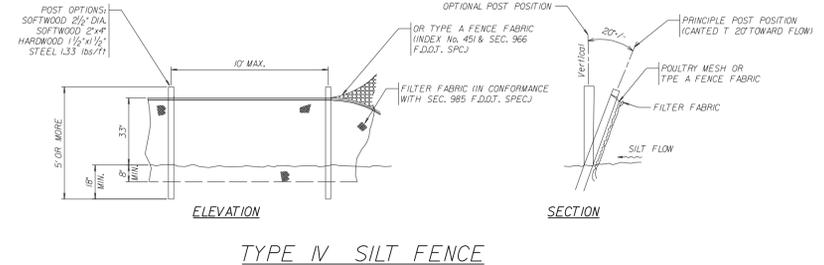
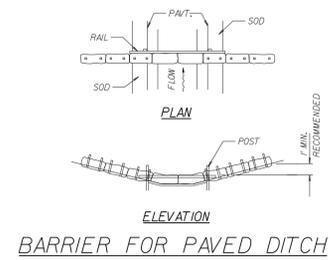
WINNINGHAM & FRADLEY, INC.
ENGINEERS, PLANNERS & SURVEYORS
1171 N.E. 44th STREET, DANIA AND PARK, FL 33004 (954) 440-7100 FAX: (954) 711-0006 WWW.WINNINGHAM-AND-FRADLEY.COM



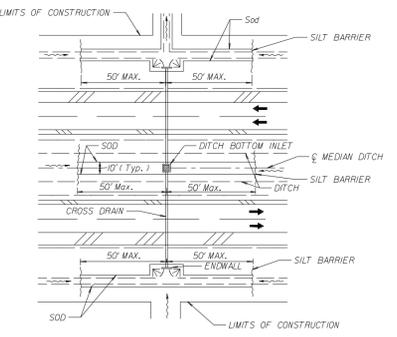
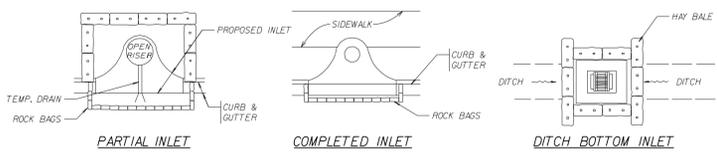
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BARRIERS FOR FILL SLOPES



NOTES FOR SILT FENCES

- TYPE III SILT FENCE TO BE USED AT MOST LOCATIONS, WHERE USED IN DITCHES. THE SPACING FOR TYPE III SILT FENCE SHALL BE IN ACCORDANCE WITH CHART I.
- TYPE IV SILT FENCE TO BE USED WHERE LARGE SEDIMENT LOADS ARE ANTICIPATED. SUGGESTED USE IS WHERE FILL SLOPE IS 12 OF 1 STEEPER AND LENGTH OF SLOPE EXCEEDS 25 FEET. AVOID USE WHERE THE DETAINED WATER MAY BACK INTO TRAVEL LANES OR OFF THE RIGHT OF WAY.
- DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.
- WHERE USED AS SLOPE PROTECTION, SILT FENCE IS TO BE CONSTRUCTED ON OX LONGITUDINAL GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.
- SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE, (L.F.).

NOTES FOR BALED HAY OR STRAW BARRIERS

- TYPE I AND II BARRIERS SHOULD BE SPACED IN ACCORDANCE WITH CHART I. HAY BALES SHALL BE UTILIZED AT ALL DRAINAGE INLETS UNTIL INSTALLATION OF ROAD ROCK.
- HAY BALES SHALL BE TRENCHED 3 TO 4 AND ANCHORED WITH 2x4 OR 1x4x4x4 WOOD STAKES. STAKES OF OTHER MATERIAL OR SHAPE PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY THE ENGINEER. STAKES OTHER THAN WOOD SHALL BE REMOVED UPON COMPLETION OF THE PROJECT.
- RAILS AND POSTS SHALL BE 2x4 WOOD, OTHER MATERIALS PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY ENGINEER.
- ADJACENT BALES SHALL BE BUTTED FIRMLY TOGETHER. UNAVOIDABLE GAPS SHALL BE PLUGGED WITH HAY OR STRAW TO PREVENT SILT FROM PASSING.
- WHERE USED IN CONJUNCTION WITH SILT FENCE, HAY BALES SHALL BE PLACED ON THE UPSTREAM SIDE OF THE FENCE.
- BALES TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR BALED HAY OR STRAW. EA THE UNIT PRICE SHALL INCLUDE THE COST OF FILTER FABRIC FOR TYPE I AND II BARRIERS. SAND BAGS SHALL BE PAID FOR UNDER THE UNIT PRICE FOR SANDBAGGING. CY. ROCK BAGS TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR ROCK BAGS, EA.



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TEMPORARY POLLUTION PREVENTION DETAILS			
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DESIGNED: WFI	DATE: 03/2020	APPROVED:	EB-0002995 LB-0002995
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