



HALL-004

REPLACING EXISTING DAMAGED SIDEWALKS CITYWIDE

Project submitted for Surtax Funding for Rehabilitation and Maintenance Surtax Projects

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HALL-004 Replaced Existing Damaged Sidewalks

Scope of Services and Multimodal Components

Source: Basis of Design Report. BODR, Final Report August 26, 2016

Scope:

It is recommended that new and re-replacement sidewalks are constructed four inches (4") thick with a minimum width of five feet. Within RAC Districts, sidewalk width of eight feet (8") to ten feet (10") is recommended. Sidewalks installed through driveways or subject to vehicular traffic, shall be minimum six inches (6") thick. The sidewalks should be installed within the public Right-of-Way, with the back edge of the sidewalk located at the property line. Also, the installation of bio-barriers is recommended adjacent to the existing shade trees and new sidewalks.

At the BODR Report there were reported a total of four hundred ninety (490) ADA access ramps missing, along with ninety-seven (97) in need of replacement due to damage or deficient slope/width. Also, there are 212 existing ramps with stamped truncated domes not meeting current DOT Standards along with 241 ramps missing truncated domes.

Next table contains the summary of recommended Sidewalk improvements for this Surtax Cycle

Repair Category	Unit	Quantity
Replace Damaged Sidewalk	LF	2,124
Install Sidewalks	LF	36,000
Replace ADA Ramps Damaged or with Deficiencies	EA	97
ADA Ramps missing	EA	587
Replace and Install Truncated Domes at ADA Ramps	EA	453

With the Maximum Budget for the R&M Project we can repair most of the existing damaged sidewalks, as well as we will have enough resources to install ADA Ramps along the below locations, and many other sites to be determined in the design phase and inspection of each specific site, activity that will take place within the first 30 days, using the ADA missing Ramps data as it is shown on BODR, 2016 Maps.

VI-13, VI-14, VI-15, VI-16: Existing ADA Ramps, Condition Inventory

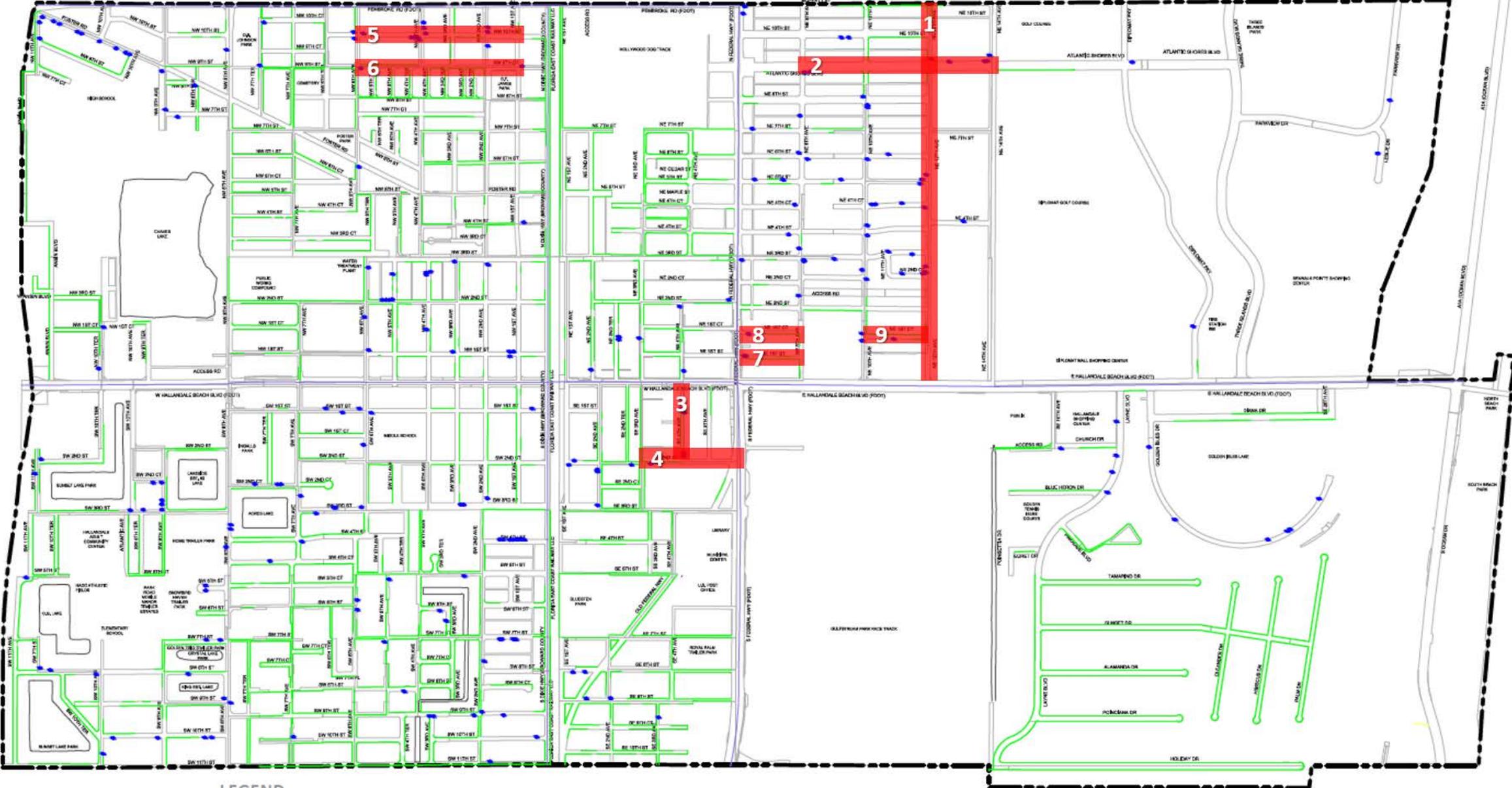
VI-17: Proposed Sidewalk Plan

VI-18 Bicycle lanes

1. NE 12th Ave, From Hallandale Beach Blvd to Atlantic Shores Blvd on both sides of the roadway.
2. Atlantic Shores Blvd, From NE 14th Ave., to NE 8th Ave.
3. SE 4th Ave., from Hallandale Beach Blvd to SE 2nd Street
4. SE 2nd Street, From SE 3ed Ave to Old Federal Hwy.
5. NW 10 Street, From NW 1st Ave to NW 6th Avenue
6. NW 9th Street, from NW 1st Ave to NW 6th Ave.
7. NE 1st Street, from Federal Hwy to NE 6th Ave.
8. NE 1st Ct, from Federal Hwy to NE 6th Ave.
9. NE 1st Court from NE 1st Ave to NE 12th Ave.

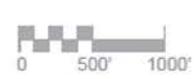
Multimodal Components

The two projects submits by the City of Hallandale Beach, HALL-003 Crosswalk Upgrades, and HALL-004 Replaced Existing Damaged Sidewalks are addressing not only the repairs of the deficiencies on sidewalks, and ADA Ramps to facilitate the pedestrian movements, from the residential areas located in the NE and SE to the commercial areas located along Hallandale Beach Boulevard, and Federal Highway. The maintenance and repairs proposed on the crosswalk in almost all intersections along Hallandale Beach and Hallandale Beach Boulevard will increase security, and safety for Pedestrians and Bicycle Riders along our main highways.



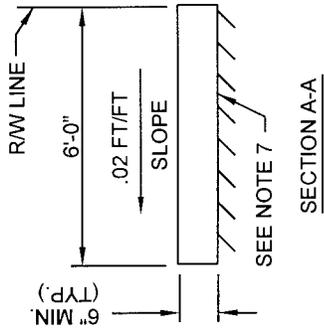
LEGEND

- PROPOSED 5' SIDEWALK
- REMOVE AND REPLACE SIDEWALK
- STATE OR COUNTY JURISDICTION
- HALLANDALE BEACH CITY LIMITS



KEY MAP

1	2
3	4



NOTES:

1. CONCRETE TO BE CLASS 1, 3000 P.S.I.
2. THE USE OF REINFORCEMENT IS NOT PERMITTED.
3. SIDEWALK SLOPES SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.
4. RAMPS SHALL BE PROVIDED AT ALL INTERSECTIONS IN ACCORDANCE WITH FDOT INDEX 304.
5. THE VERTICAL DEVIATION FOR A NEW SIDEWALK SHALL NOT BE MORE THAN 1/2".
6. THE VERTICAL DEVIATION FOR A NEW MAINTENANCE ACCESS STRUCTURE COVER SHALL NOT BE MORE THAN 1/4".
7. SUBGRADE MATERIAL SHALL BE COMPACTED TO 100% OF MAXIMUM DENSITY, PER AASHTO T-99.
8. STAMPED CONCRETE IS NOT ALLOWED IN LIEU OF TRUNCATED DOMES.
9. SEE HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION APPROVED PRODUCT LIST FOR ACCEPTABLE MATERIALS FOR TRUNCATED DOMES.

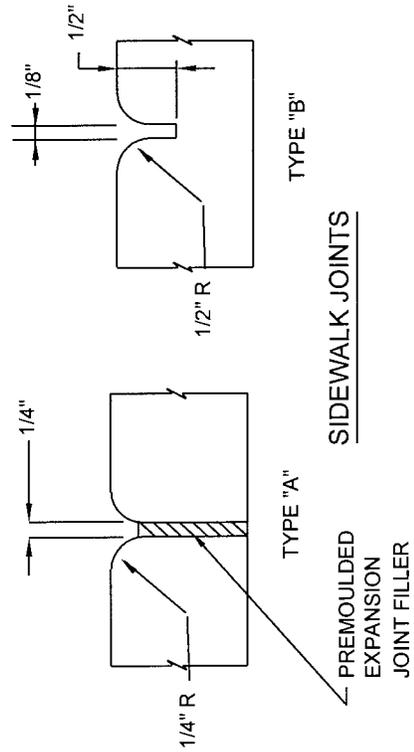
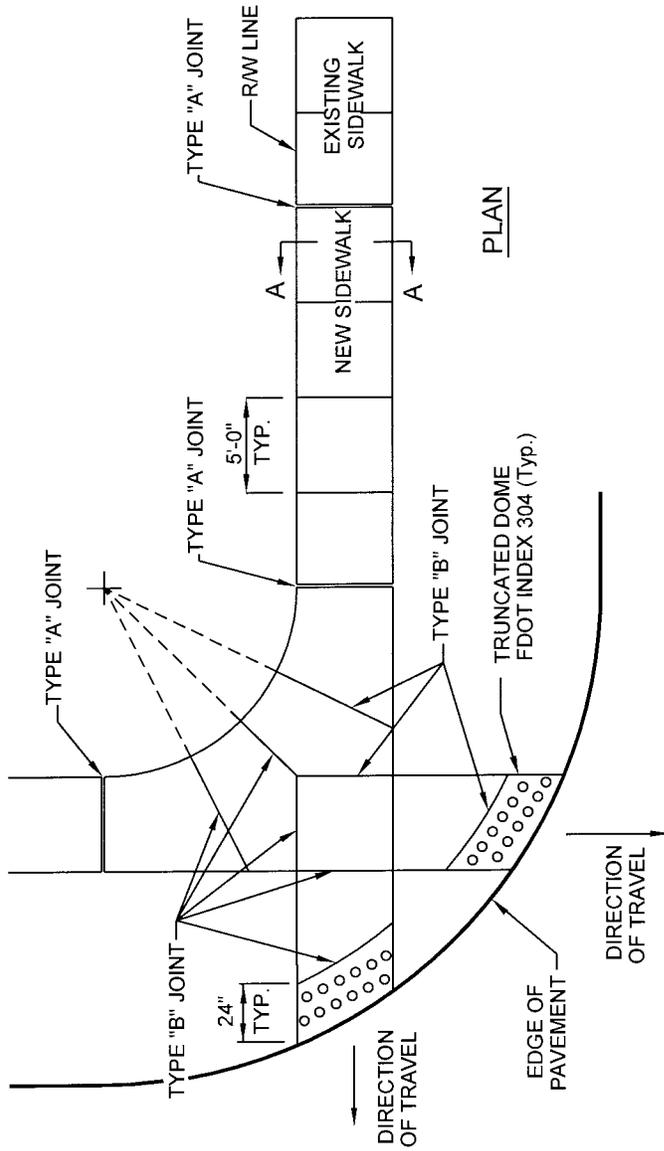
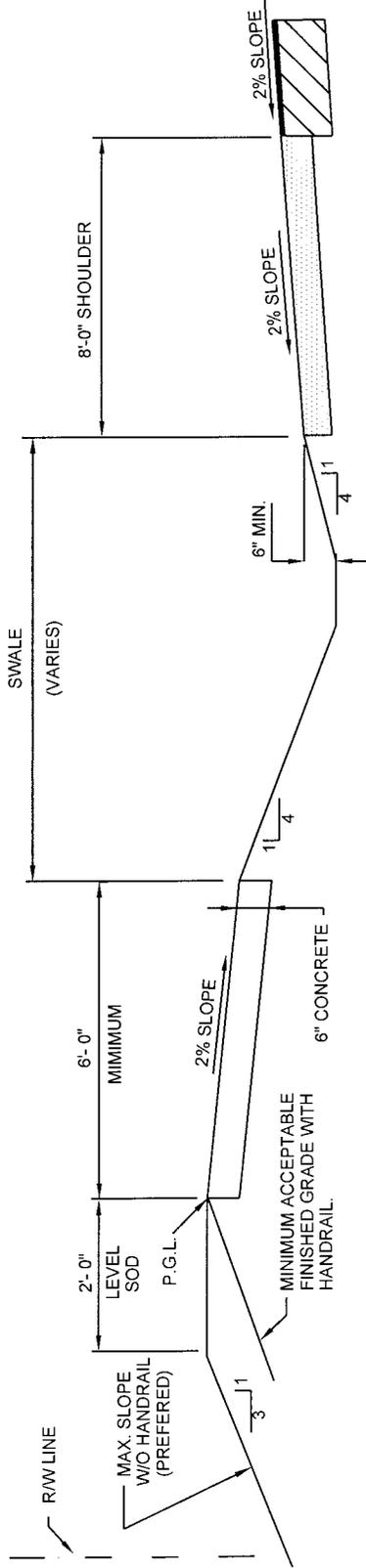


TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
"A"	P.C. P.T. OF CURVES & WHERE SIDEWALK ABUTS CONCRETE DRIVEWAY.
"B"	5'-0" CENTER TO CENTER ON SIDEWALKS.

**BROWARD COUNTY
HIGHWAY CONSTRUCTION
AND ENGINEERING DIVISION**

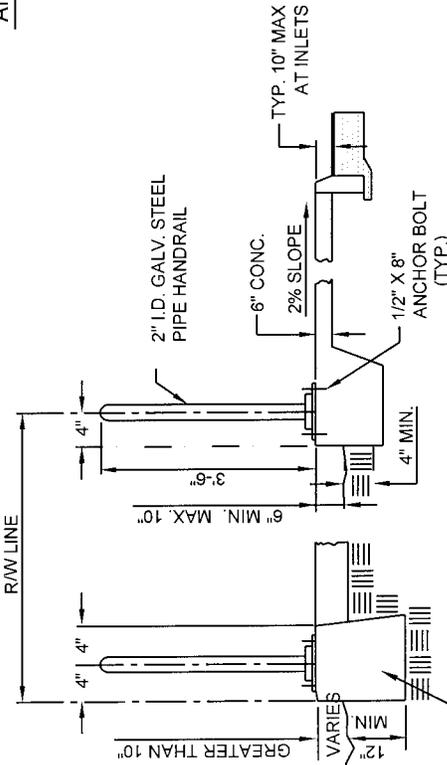
**SIDEWALK
TYPICAL DETAILS**

Approved by: DJH 14
 Revised: 6/01/05 WRH DWG. NO.



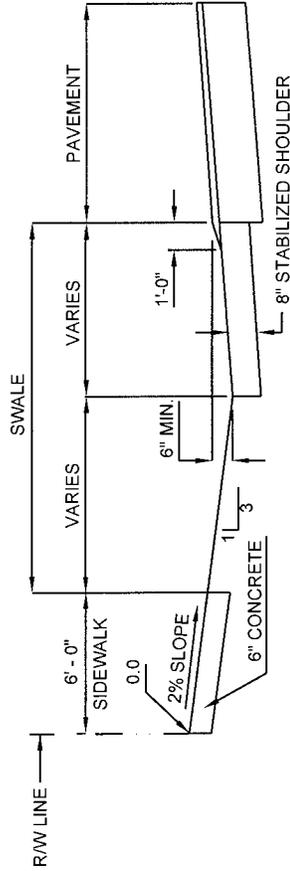
TYPICAL SECTION THROUGH SIDEWALK SHOULDER AND SWALE AT MULTI-LANE ROAD

NTS



TYPICAL HANDRAIL DETAIL AT SIDEWALK WHERE ABUTTING GRADE DIFFERS FROM SIDEWALK GRADE

NTS



TYPICAL SECTION THROUGH SIDEWALK AND SWALE AT 2-LANE LOCAL ROAD

NTS

NOTES:

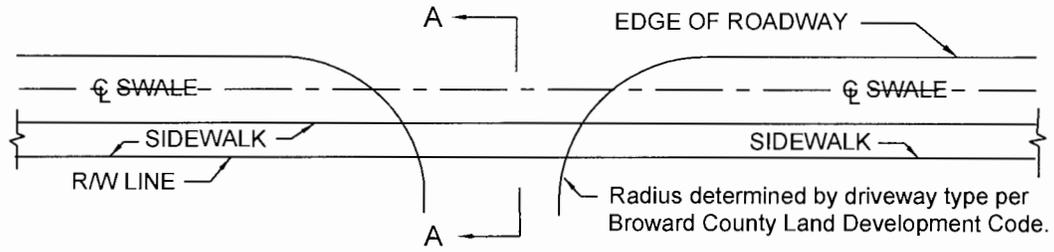
1. ELEVATIONS REFER TO PROFILE GRADE LINE (P.G.L.)
2. FOR DETAILS NOT SHOWN SEE CHAPTERS 6 AND 7.
3. FOR SWALES WIDER THAN 18 FEET, SLOPES SHALL BE AS SPECIFIED BY THE HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION.
4. FINISHED GRADE OF TURF SHALL BE 2" BELOW EDGE OF PAVEMENT AND TOP OF SIDEWALK.
5. MATERIAL BENEATH SIDEWALKS AND SWALES SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY, PER AASHTO T-180.

BROWARD COUNTY
HIGHWAY CONSTRUCTION
AND ENGINEERING DIVISION

SWALE AND SIDEWALK
TYPICAL SECTIONS

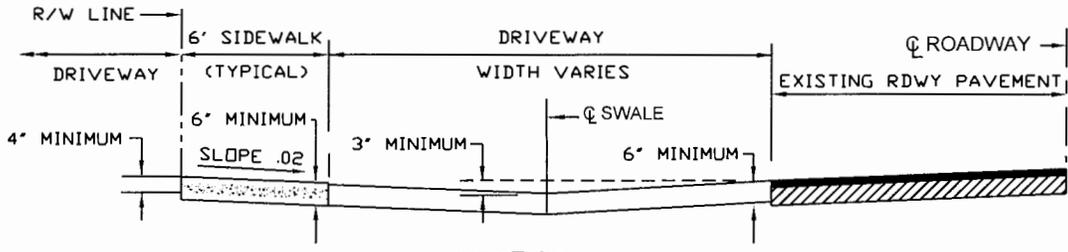
Approved by: DJH
Revised: 6/01/05 WRH

15
DWG. NO.



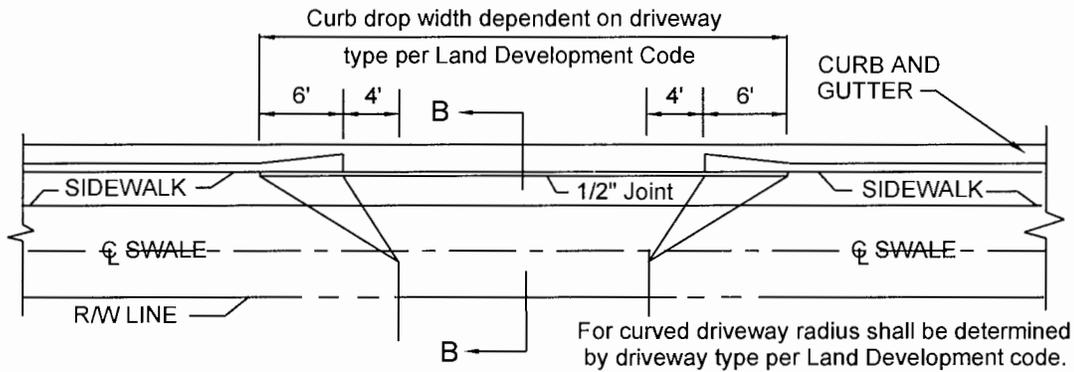
PLAN - DRIVEWAY WITH SIDEWALK SETBACK FROM UNCURBED ROADWAY

NTS



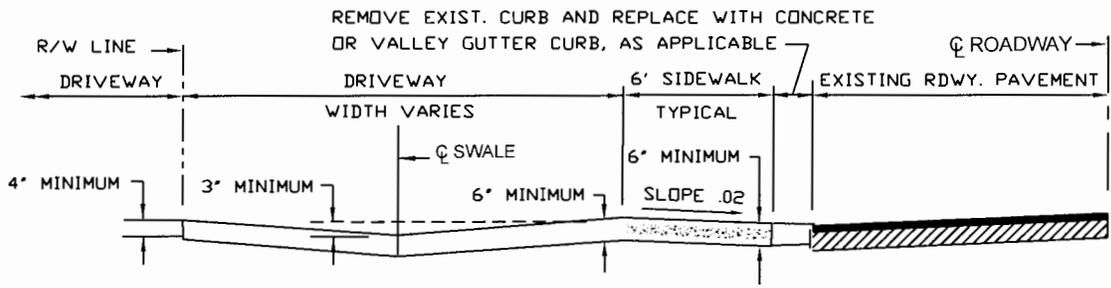
SECTION A-A

NTS



PLAN - DRIVEWAY WITH SIDEWALK ADJACENT TO CURBED ROADWAY

NTS



SECTION B-B

NTS

NOTES:

1. SIDEWALK AND DRIVEWAY ON STREET SIDE OF R/W LINE SHALL BE 6" MINIMUM CONCRETE (3000 PSI), WITH NO REINFORCEMENT.
2. MATERIAL BENEATH SIDEWALKS AND SWALES SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY, PER AASHTO T-180.

BROWARD COUNTY
HIGHWAY CONSTRUCTION
AND ENGINEERING DIVISION

DRIVEWAY, SWALE &
SIDEWALK - DETAILS

Approved by: DJH
Revised: 6/01/05 WRH

16
DWG. NO.

HALL-004 ENGINEERING COST ESTIMATE - SIDEWALK IMPROVEMENTS					
ITEM NUMBER	ITEM DESCRIPTION	QUANTITY	UNITS	UNIT PRICE	TOTAL
1	Design and Survey (10%)	1	LS	\$ 212,265.00	\$ 212,265.00
2	Mobilization (Includes all preparatory work and operations in mobilizing for beginning work on the project, including, but not limited to, those operations necessary for the movement of personnel, equipment, and supplies. (5%))	1	LS	\$ 106,132.50	\$ 106,132.50
3	SIDEWALK REPLACEMENT: Furnish all material, equipment, and labor necessary to install 6-inch thick concrete sidewalk. The unit price shall include sawcutting, removal, and disposal of existing concrete sidewalk; supply and placement of concrete pavement; removing surplus material, and cleaning up the site.	36,000	LF	45	\$ 1,620,000.00
4	ADA CURB RAMP REPLACEMENT: Furnish all material, equipment, and labor necessary to install curb ramps, meeting ADA requirements and specification. The unit price shall include sawcutting, removal, and disposal of existing concrete sidewalk; supply and placement of concrete pavement; removing surplus material, and cleaning up the site.	587	EA	810	\$ 475,470.00
5	ADA TRUNCATED DOME/DETECTABLE WARNING MAT: Furnish all material, equipment, and labor necessary to install truncated domes, meeting ADA requirements and specification. The unit price shall include supply and placement of truncated dome/detectable warning mat; removing surplus material, and cleaning up the site.	453	EA	60	\$ 27,180.00
6	Maintenance of Traffic (15%)	1	LS	\$ 318,397.50	\$ 318,397.50
7	Contingency (10%)	1	LS	\$ 212,265.00	\$ 212,265.00
TOTAL AMOUNT ITEMS 1-7					\$ 2,971,710.00
PREPARED BY: PETER A. KUNEN, P.E., CITY ENGINEER					

HALL-004 - SIDEWALK IMPROVEMENTS PROJECT SCHEDULE

	Start Date	Duration (Days)	End Date
Phase I - Project Planning Design and Engineering	August 1, 2020	60	September 30, 2020
Phase II - Bidding and Contracting Phase	September 30, 2020	90	December 29, 2020
Phase III - Construction Phase	December 29, 2020	185	July 2, 2021
Phase IV - Project Closeout	July 2, 2021	30	August 1, 2021
	Total Duration	365	

PREPARED BY: PETER A. KUNEN, P.E., CITY ENGINEER

HALL-004 REPLACING EXISTING DAMAGED SIDEWALKS

METHOD TO PERFORM WORKS

As 05/16/2020, The City of Hallandale estimates that the project will be performed by a contractor. The City of Hallandale Beach will open Public RFP Bidding Process to contract works for HALL-004 Replacing Existing Damaged Sidewalks, that will be financed with Surtax funding, following County, and City regulations as established at the corresponding ILA.

The city of Hallandale Procurement Department will ensure that a Competitive Bid and Requests for Proposals (RFP) are prepared, issued, evaluated, and awarded. The use of State of Florida and other governmental entity contracts and Bids is also recommended. The Department processes purchase requisitions and issues City purchase orders and monitors City bidding and purchasing procedures to ensure compliance with legal and other requirements.

The amount of the Contract will be the budgeted amount determined in a Bidding Process up to a maximum amount of \$ 2,971,710.00

The city of Hallandale Beach will include in the RFP documents the Broward County adopted regulation of a 30% participation goal for Certified County Business Enterprise (CBE) firms for all eligible projects funded by the Broward Transportation Surtax.

The city Procurement Department will contact Broward County Economic and Small Business Development to follow regulations to be included in the RFP's

A complete photometric study should be performed in order to insure that all Rights-of-Way are properly lit and determine the required light pole spacing as described in current code. Florida Power and Light (FPL) offers pole and lamp options for municipalities to install within public Rights-of-Way. Below is the City chosen premium lighting option available through the FPL program.

6	Holoplane	Acorn - Painted Top	Black	Granite	100w	7,065	5,000k	B2-U4-G4	S02079PP5
8	Holoplane	Acorn - Painted Top	Black	Granite	80w	6,975	5,000k	B2-U3-G4	S02079PP3



SIDEWALKS

a. Introduction

There is approximately sixty-one (61) miles of concrete sidewalk in place and approximately fifty (50) miles of missing sidewalk within City of Hallandale Beach maintained Right-of-Way. The existing sidewalks vary in width from four-feet (4') to five-feet (5'). Per City of Hallandale Beach Design Guidelines, a minimum five-foot (5') sidewalk shall be provided along any street Right-of-Way or on private property by easement dedication if the Right-of-Way is insufficient in width.

CTA performed a detailed inventory of all sidewalk infrastructures within City maintained Rights-of-Way. This also included identification of existing ADA ramp locations and determination whether they are in compliance with Florida Department of Transportation (FDOT) standards. The intent of our effort is to provide an inventory of existing sidewalks in need of replacement and areas in need of new sidewalks so City staff can easily identify areas in need.

b. Scope of Services

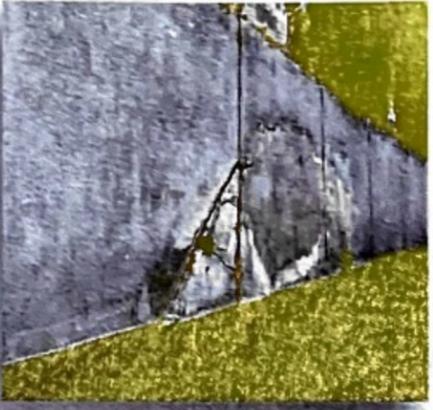
With regards to sidewalks, CTA's scope of services is as follows:

- Document present standards.
- Discuss with City if sidewalks should be provided on both sides or on one side.
- Establish areas where physical constraints limit the ability to meet standards.
- Review sidewalk conditions to determine areas that need to be rebuilt or replaced.
- Identify locations of existing ADA ramps and identify if the existing ramps were in compliance based on visual inspection only.
- Review existing crosswalks on Hallandale Beach Boulevard, Dixie Highway, and Federal Highway for compatibility and condition.
- Develop improvement recommendations.

c. Existing Sidewalk Facilities

Concrete sidewalks currently exist on either side of the City maintained Rights-of-Way. In general, the existing sidewalks vary in width from four-feet (4') to five-feet (5').

There is an extensive number of missing sidewalks, approximately 255,091 linear feet. At various locations throughout the City Right-of-Way, existing shade trees have uprooted and damaged sidewalks at thirty-six (36) locations. Also, there is approximately 2,124 linear feet of damaged sidewalks that are in need of replacement. See **Figure VI-4** for Sidewalk Inventory.



Existing Damaged Sidewalk



New Sidewalk

d. ADA Access Ramps

A total of 490 ADA access ramps are missing, along with ninety-seven (97) ramps in need of replacement due to damage or deficient slopes/widths. Also, there are 212 existing ramps with stamped truncated domes not meeting current FDOT Standards along with 241 ramps missing truncated domes. See **Figure VI-5** for ADA Ramp Conditions.

e. Recommended Improvements

It is recommended that new and re-placement sidewalks are constructed four-inches (4") thick with a minimum width of five-feet (5'). Within RAC Districts, sidewalk width of eight-feet (8') to ten-feet (10') is recommended. Sidewalks installed through driveways or subject to vehicular traffic shall be minimum six-inches (6") thick. The sidewalks should be installed within the public Right-of-Way, with the back edge of the sidewalk located at the property line. Also, the installation of bio-barrier is recommended adjacent to existing shade trees and new sidewalks. **Table VI-3** and **Figure VI-6** illustrate the recommended sidewalk improvements.

Table VI-3: Summary of Recommended Sidewalk Improvements

Repair Category	Unit	Quantity
Replace Damaged Sidewalk	LF	2,124
Install New Sidewalk	LF	255,091
Replace ADA Ramps Damaged or with Deficiencies	EA	97
Install New ADA Ramp (490 + 97)	EA	587
Install New Truncated Domes at ADA Ramps (212+241)	EA	453

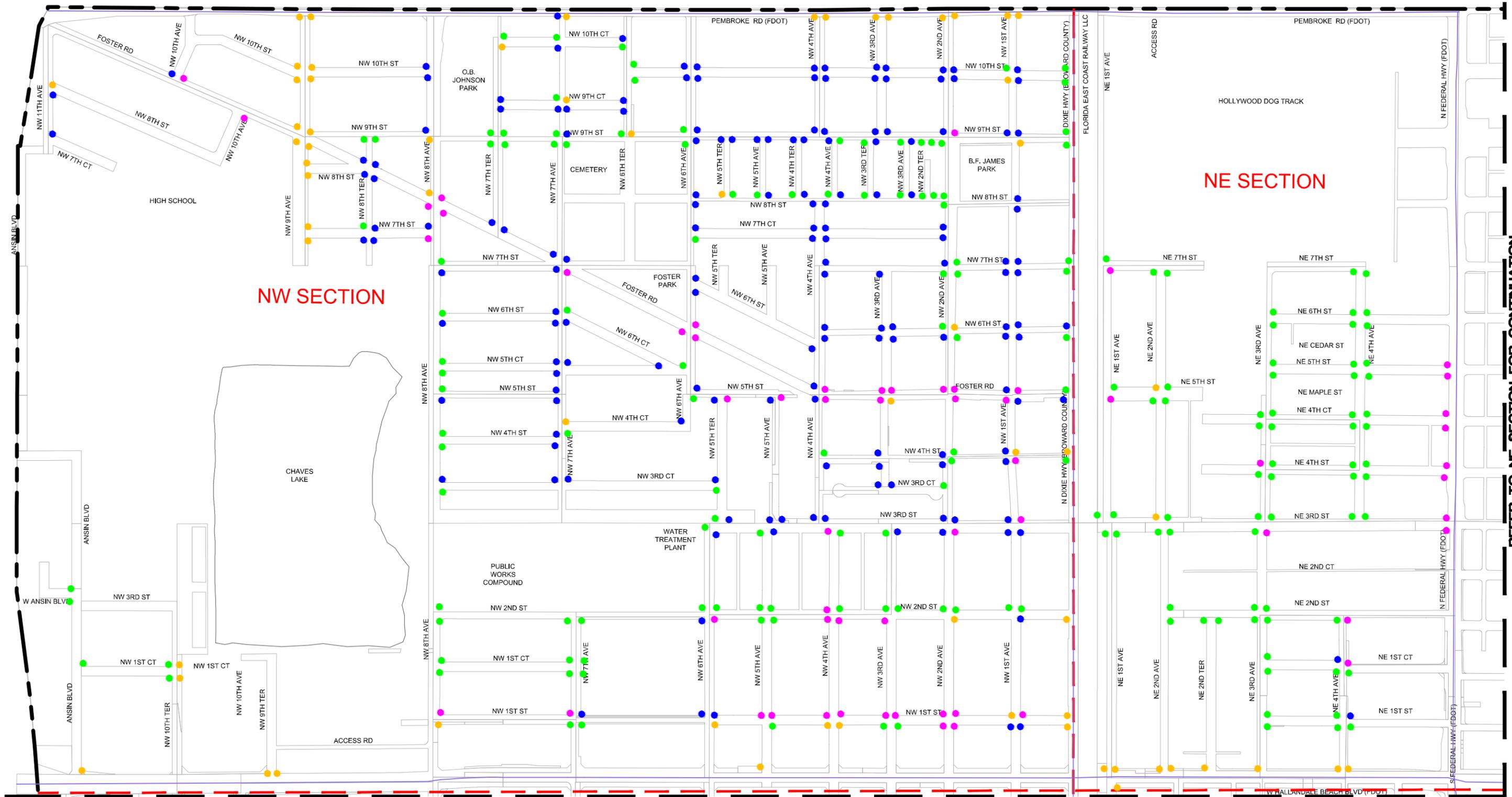
Per City of Hallandale Beach Design Guidelines, sidewalks should be provided along any street Right-of-Way or on private property by easement dedication if the Right-of-Way is insufficient

in width. Sidewalk installation on both sides of the Right-of-Way should be evaluated where physical constraints exist such as landscaping, power poles, decorative features/fences, ninety-degree (90°) back-out parking, etc. Also, in some of residential areas where sidewalk is missing, there may be locations where the character of the corridor may be such that residents are not in favor of new sidewalk construction. At a minimum, CTA recommends that sidewalks be provided on one side of the Right-of-Way to properly allow for the flow of pedestrian traffic along any given Right-of-Way. City staff should coordinate with and notify affected residents through workshops or neighborhood association meetings. It is highly discouraged to provide a sidewalk in locations adjacent to ninety-degree (90°) back-out parking that exists throughout the City.

Utility poles exist at various locations throughout the City and are generally located two-feet (2') to three-feet (3') inside the Right-of-Way. The American with Disabilities Act (ADA) requires a minimum three-foot (3') wide clearance along any accessible route. Therefore, relocation of these poles may be necessary to allow for the minimum required clearance of three-feet (3') along the sidewalk. However, if the relocation of the utility pole is not an option, the sidewalk may be rerouted to circumvent the pole and allow proper access width. This option would potentially require an easement or Right-of-Way dedicated from the adjacent property owner. If the sidewalk could be relocated towards the roadway to avoid the pole, the insulation of curb & gutter and drainage may be required to accommodate the sidewalk adjacent to edge of pavement.

Prioritization of new sidewalk construction and existing sidewalk replacement should be focused on critical pedestrian facilities, including the identification of safe routes to schools, corridors near assisted living facilities, and the blocks adjacent to commercial centers such as the Downtown, Federal Highway, Hallandale Beach Boulevard, Pembroke Road, and Dixie Highway corridors.

Under this BODR, an assessment of infrastructure has identified critical needs in roadway improvements, water, wastewater, stormwater, and landscaping. Non-critical pedestrian corridors can be addressed in concert with other infrastructure projects to reduce the economic impact of the infrastructure improvements; however, individual sidewalk, crosswalk and access ramp projects can be performed as standalone projects dependent on funding. This inventory can be used to determine the overlap with other planned construction projects in the non-critical corridors, and then Staff can subsequently identify the remaining locations where critical repairs to pedestrian facilities will need to be addressed with maintenance or grant funds.



NW SECTION

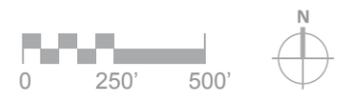
NE SECTION

LEGEND

- MISSING RAMP
- MISSING TRUNCATED DOME
- RAMP WITH DEFICIENT SLOPE AND WIDTH OR DAMAGED
- RAMP WITH STAMPED TRUNCATED DOME
- STATE OR COUNTY JURISDICTION
- HALLANDALE BEACH CITY LIMITS

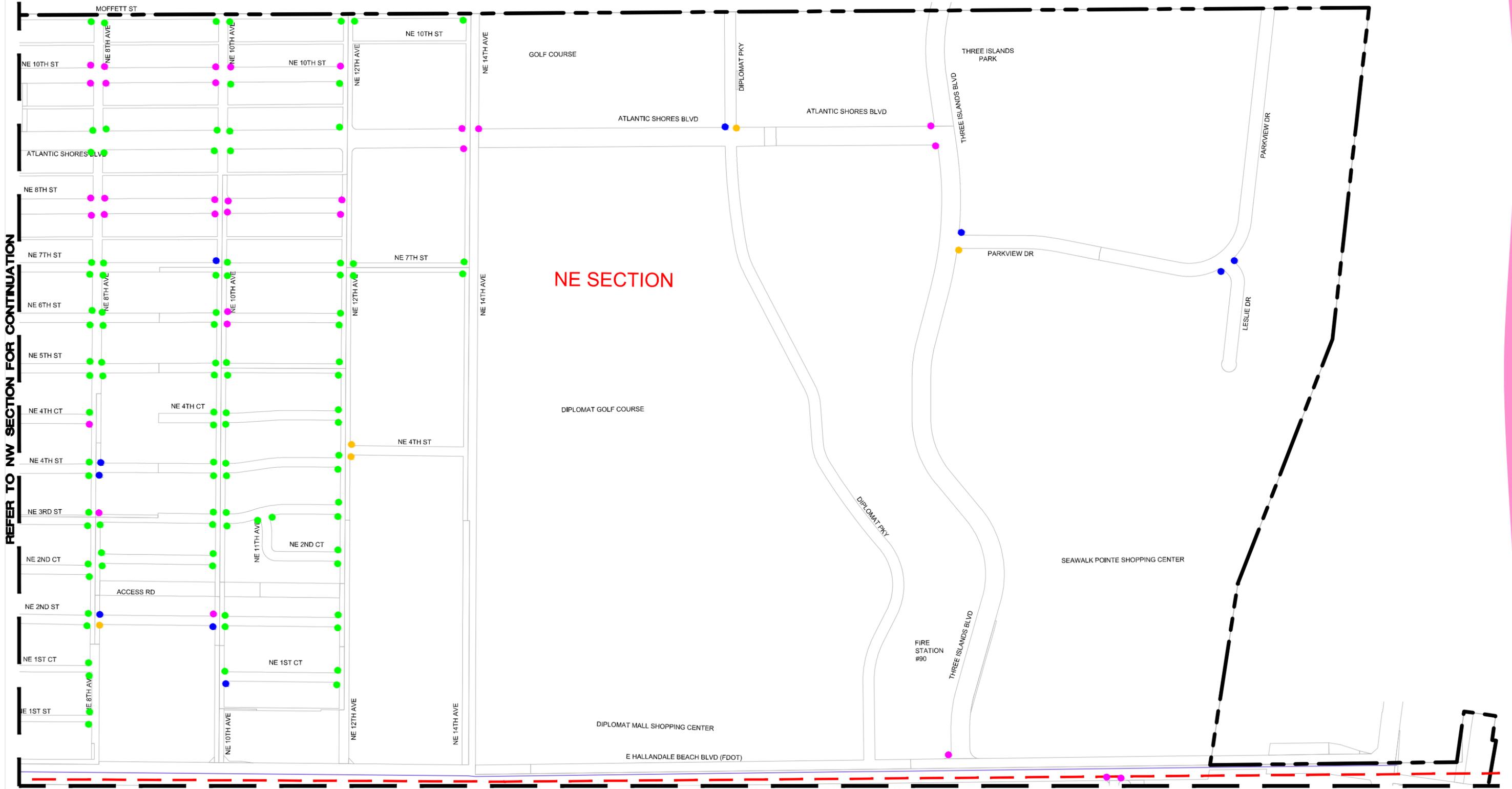
REFER TO SW SECTION FOR CONTINUATION

REFER TO NE SECTION FOR CONTINUATION



KEY MAP

1	2
3	4



REFER TO NW SECTION FOR CONTINUATION

NE SECTION

REFER TO SE SECTION FOR CONTINUATION

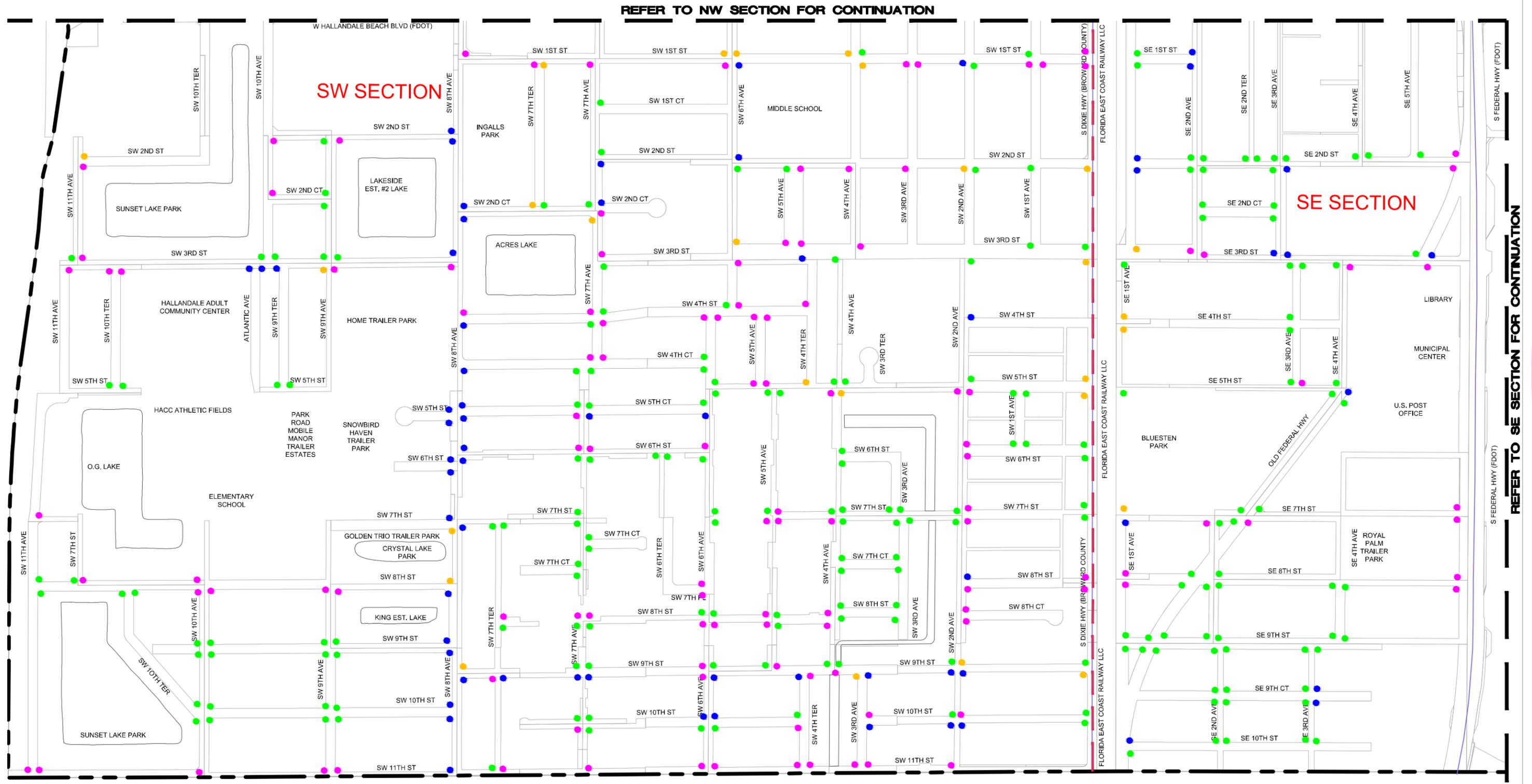
LEGEND

- MISSING RAMP
- MISSING TRUNCATED DOME
- RAMP WITH DEFICIENT SLOPE AND WIDTH OR DAMAGED
- RAMP WITH STAMPED TRUNCATED DOME
- STATE OR COUNTY JURISDICTION
- HALLANDALE BEACH CITY LIMITS



KEY MAP	
1	2
3	4

FIGURE VI-5 • SW SECTION

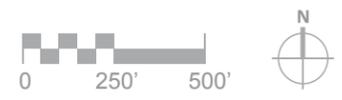


REFER TO NW SECTION FOR CONTINUATION

REFER TO SE SECTION FOR CONTINUATION

LEGEND

- MISSING RAMP
- MISSING TRUNCATED DOME
- RAMP WITH DEFICIENT SLOPE AND WIDTH OR DAMAGED
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KEY MAP	
1	2
3	4



REFER TO SW SECTION FOR CONTINUATION

REFER TO NE SECTION FOR CONTINUATION

SE SECTION

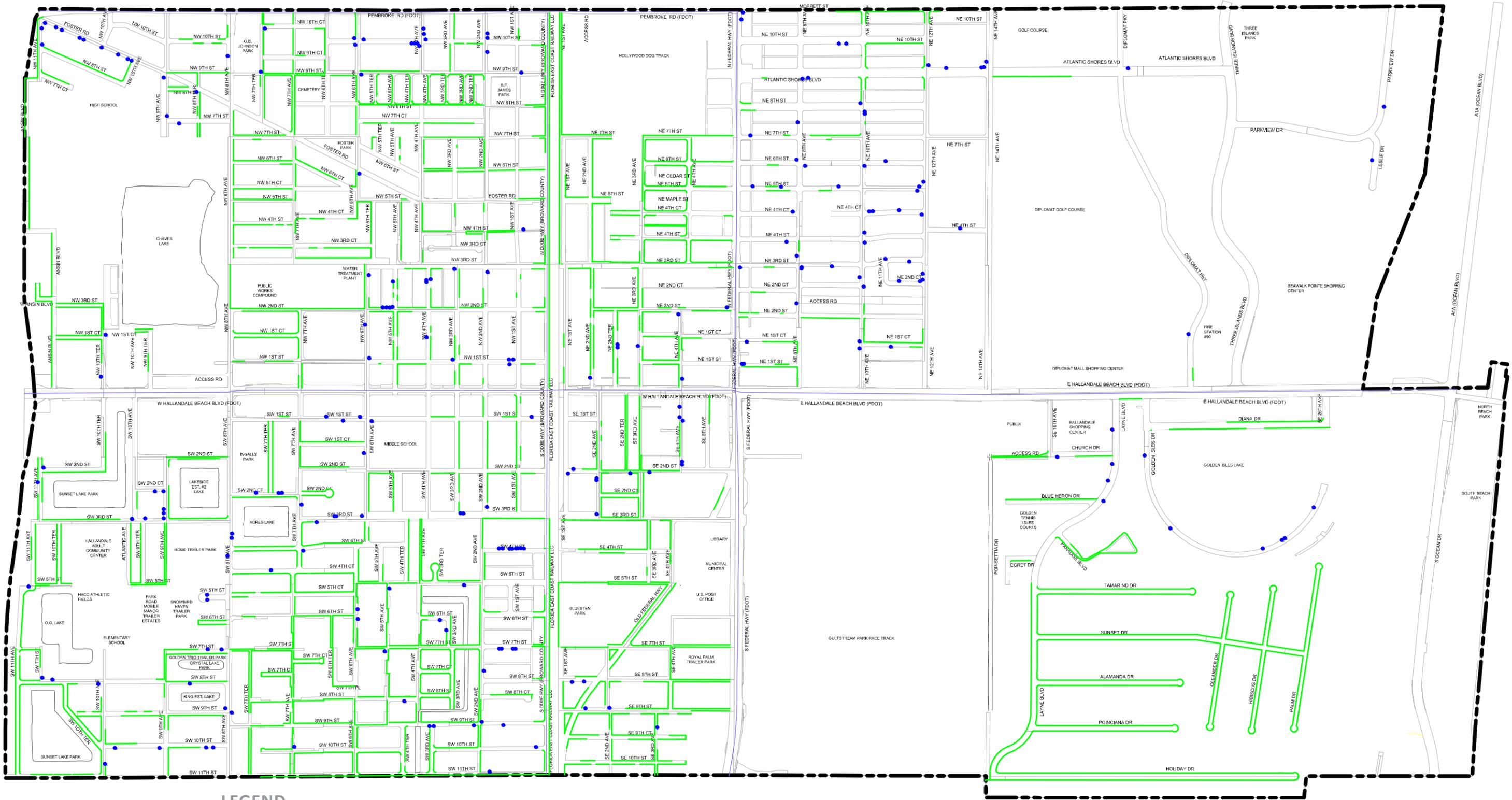
LEGEND

●	MISSING RAMP
●	MISSING TRUNCATED DOME
●	RAMP WITH DEFICIENT SLOPE AND WIDTH OR DAMAGED
●	RAMP WITH STAMPED TRUNCATED DOME
—	STATE OR COUNTY JURISDICTION
	HALLANDALE BEACH CITY LIMITS



KEY MAP

1	2
3	4



LEGEND

	PROPOSED 5' SIDEWALK
	REMOVE AND REPLACE SIDEWALK
	STATE OR COUNTY JURISDICTION
	HALLANDALE BEACH CITY LIMITS



KEY MAP

1	2
3	4



LEGEND

	EXISTING BICYCLE LANE
	EXISTING BICYCLE LANE TO BE RE-DESIGNED
	POTENTIAL BICYCLE LANE
	HALLANDALE BEACH CITY LIMITS

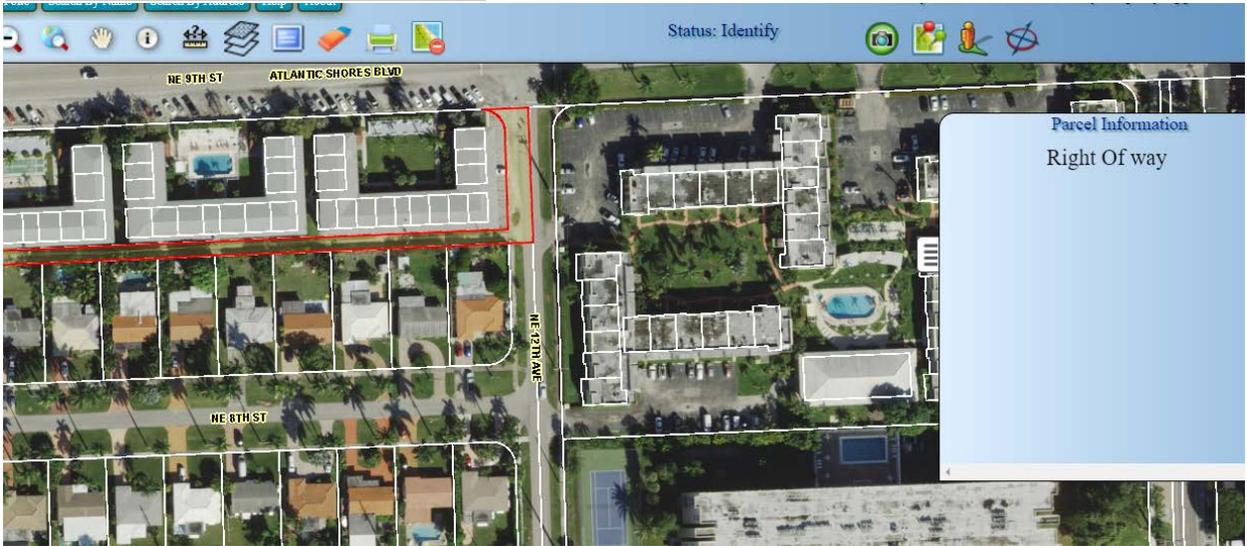
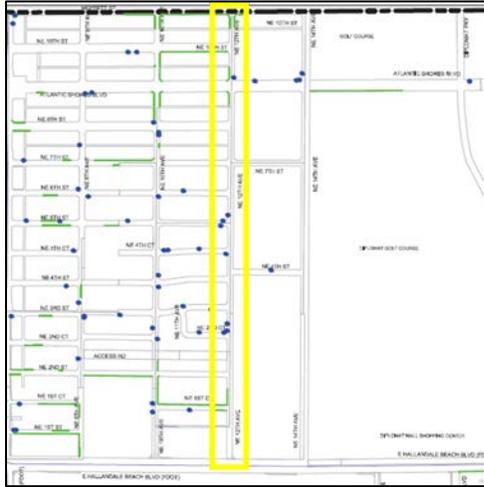


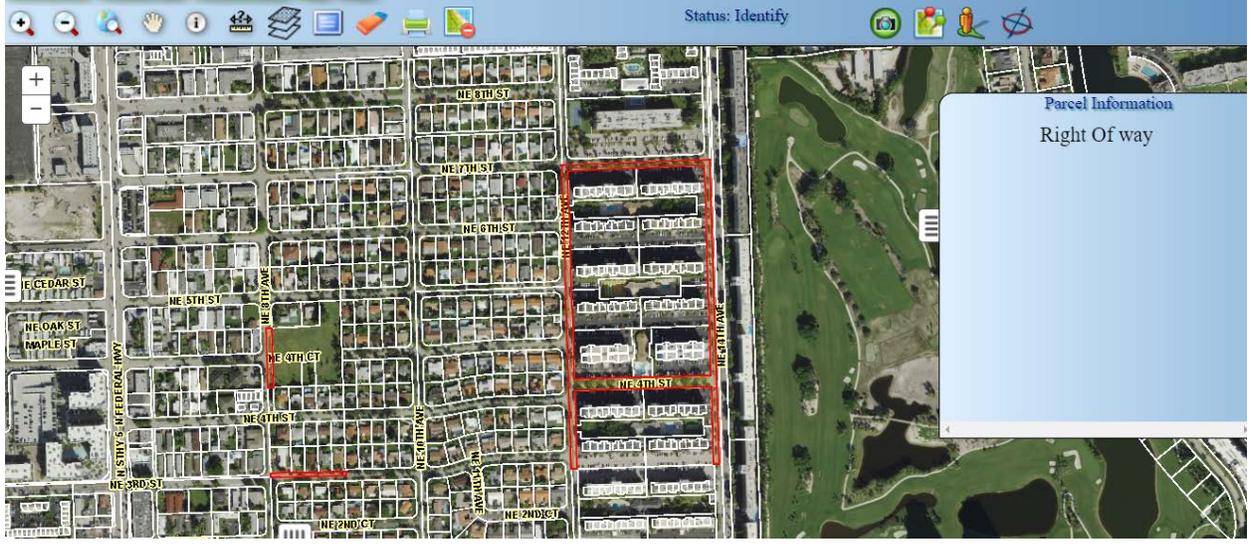
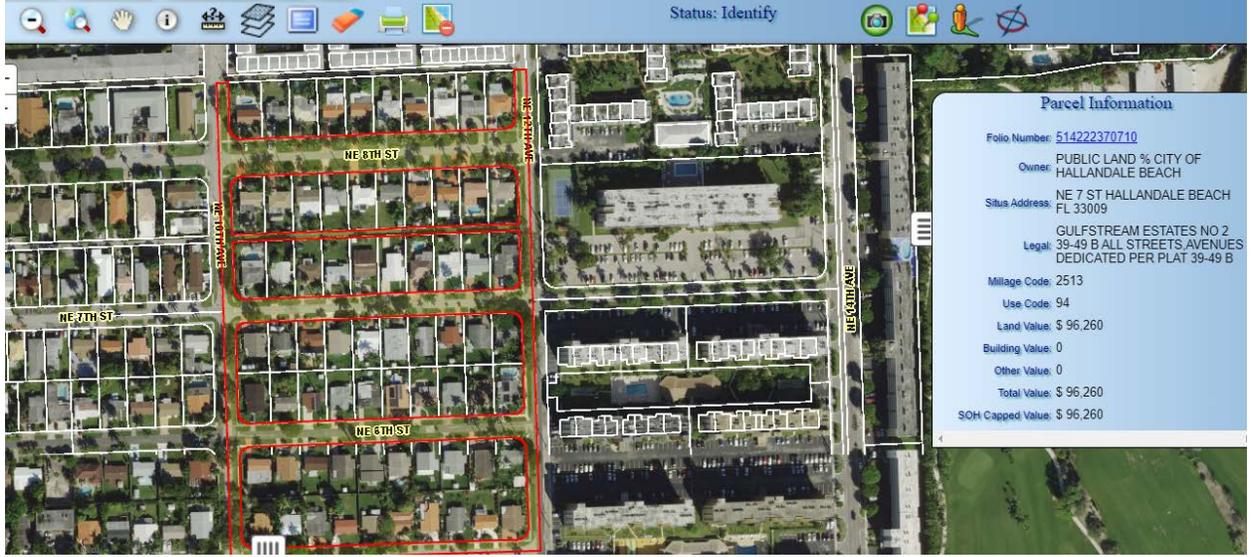
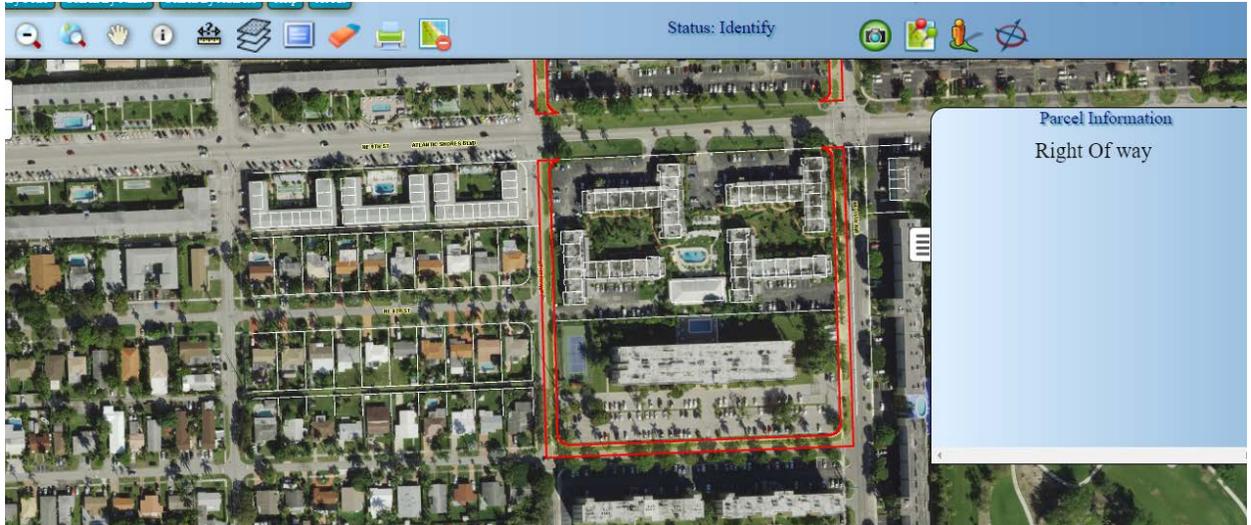
KEY MAP

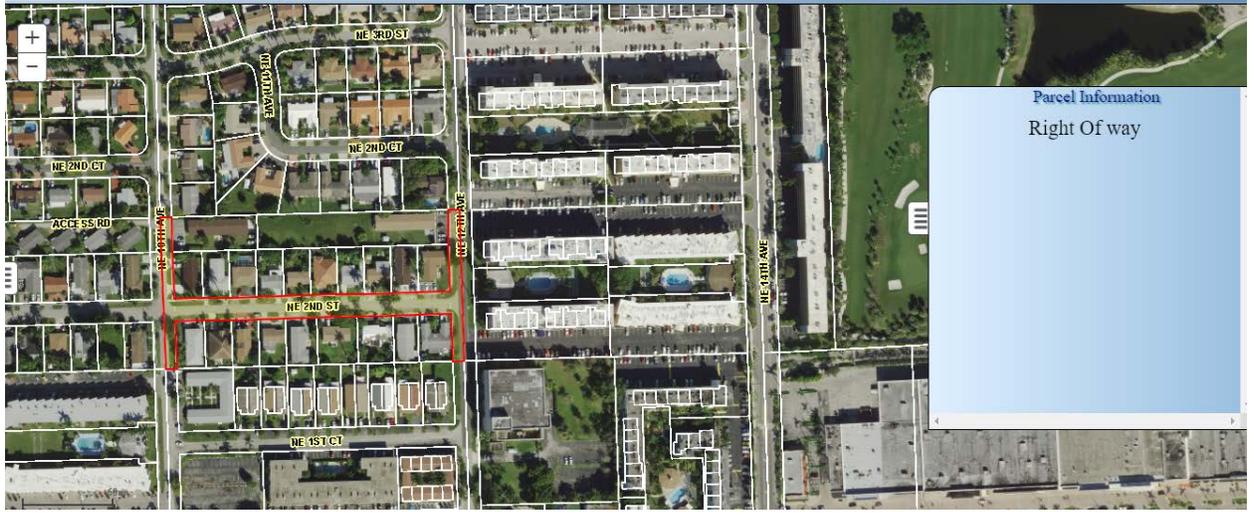
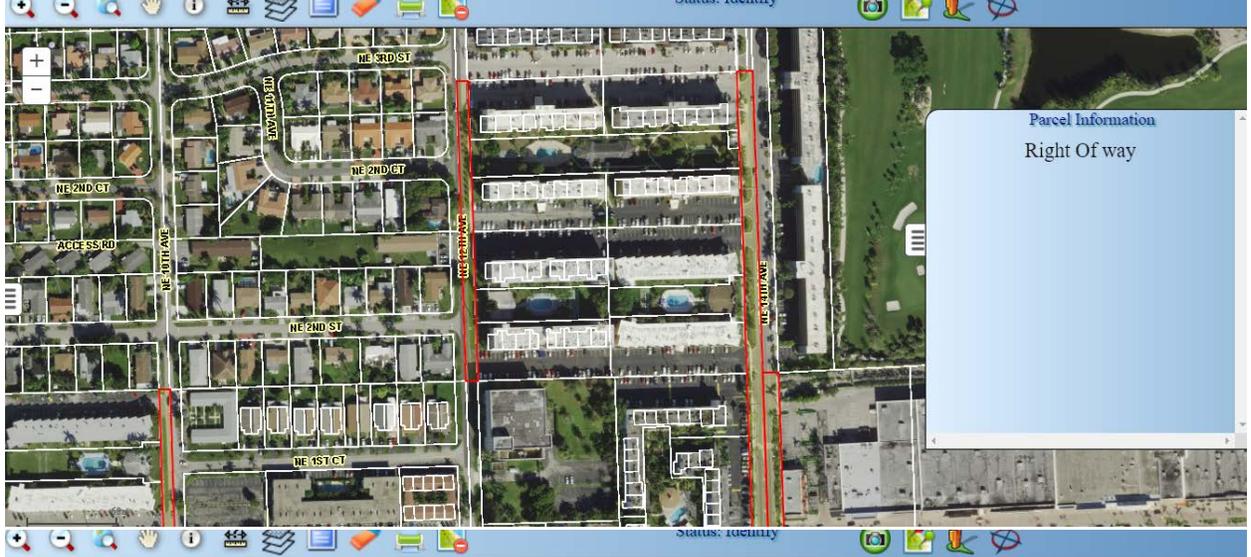
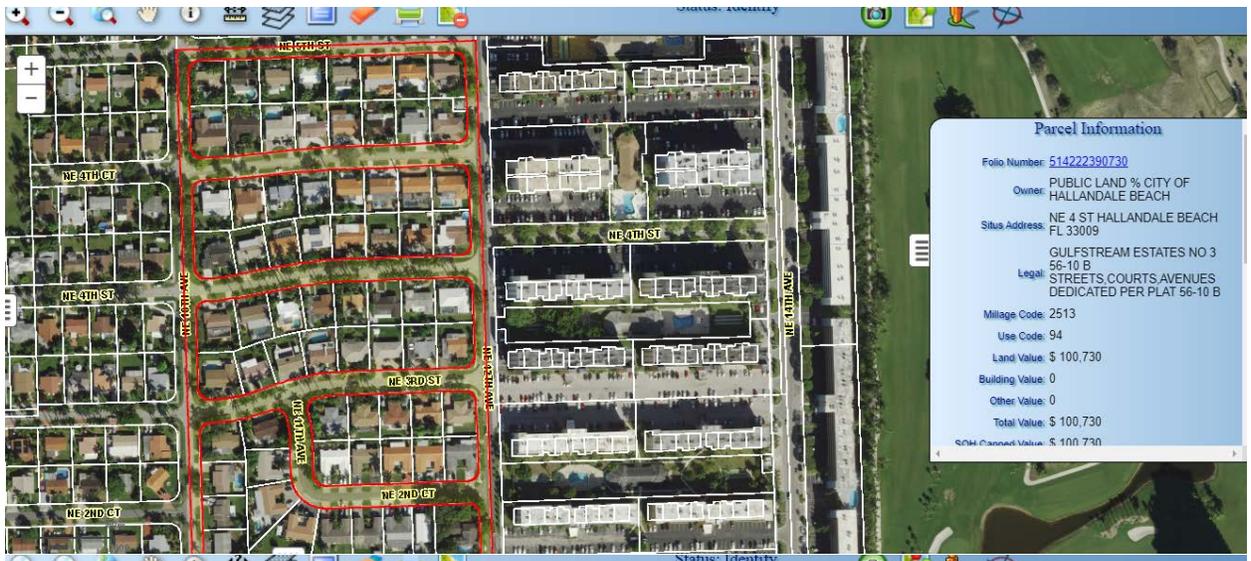
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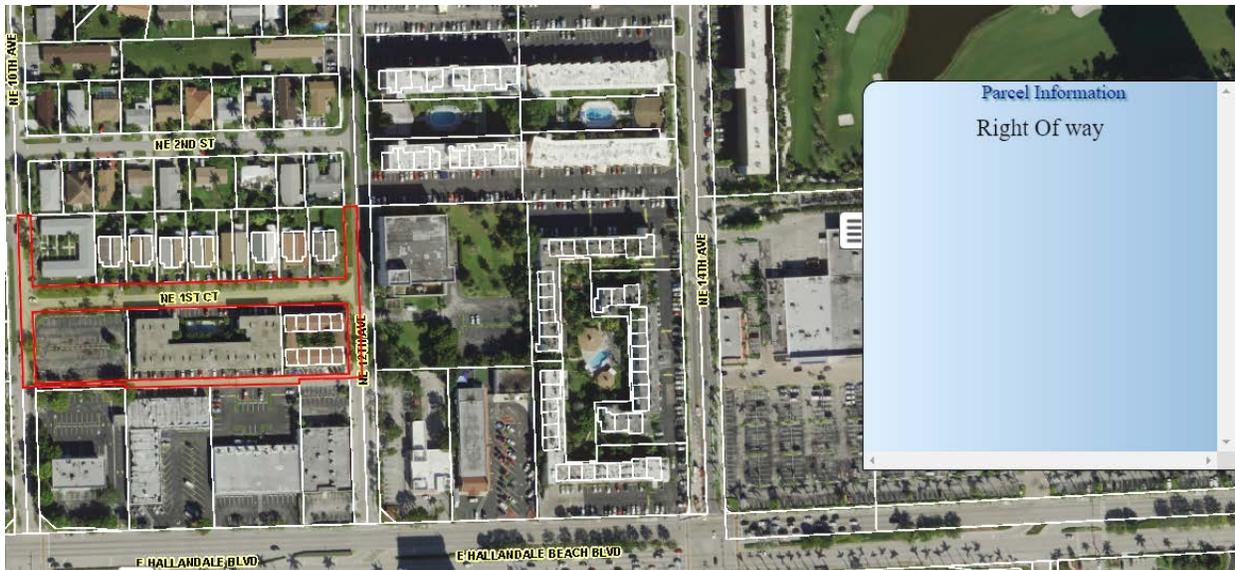
HALL-004 REPLACING EXISTING DAMAGED SIDEWALKS

NE 12th Ave, From Hallandale Beach Blvd to Atlantic Shores Blvd on both sides of the roadway.

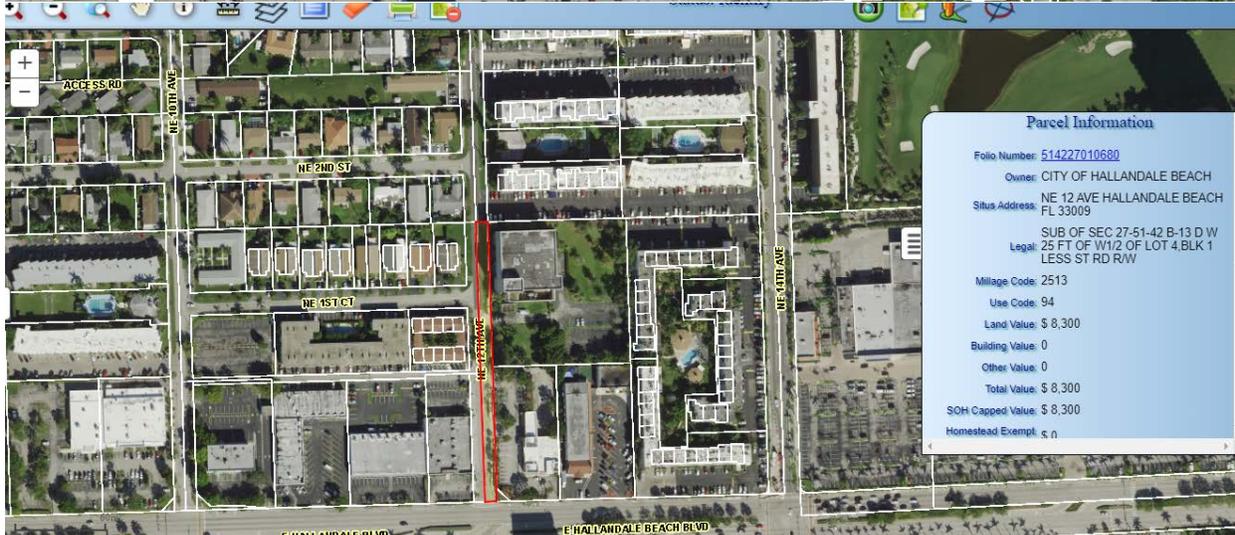








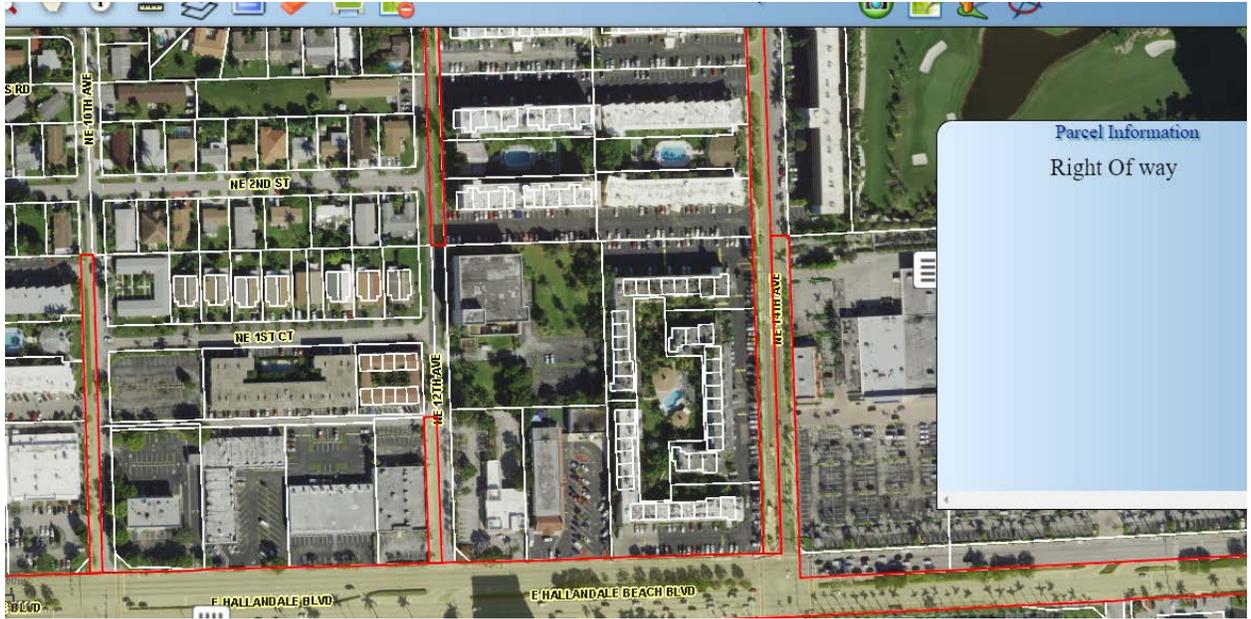
Parcel Information
Right Of way



Parcel Information

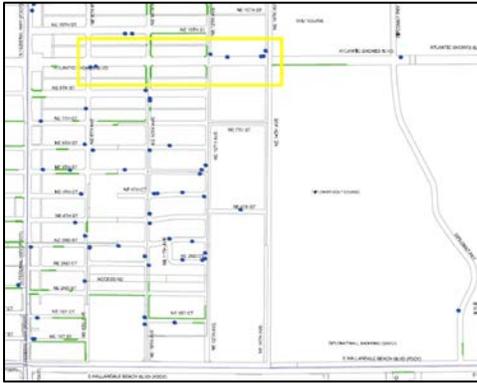
Folio Number: [514227010680](#)
Owner: CITY OF HALLANDALE BEACH
Site Address: NE 12 AVE HALLANDALE BEACH FL 33009
Legal: SUB OF SEC 27-51-42 B-13 D W
25 FT OF W1/2 OF LOT 4, BLK 1
LESS ST RD R/W

Millage Code: 2513
Use Code: 94
Land Value: \$ 8,300
Building Value: 0
Other Value: 0
Total Value: \$ 8,300
SOH Capped Value: \$ 8,300
Homestead Exempt: n



Parcel Information
Right Of way

Atlantic Shores Blvd, From NE 14th Ave., to NE 8th Ave.



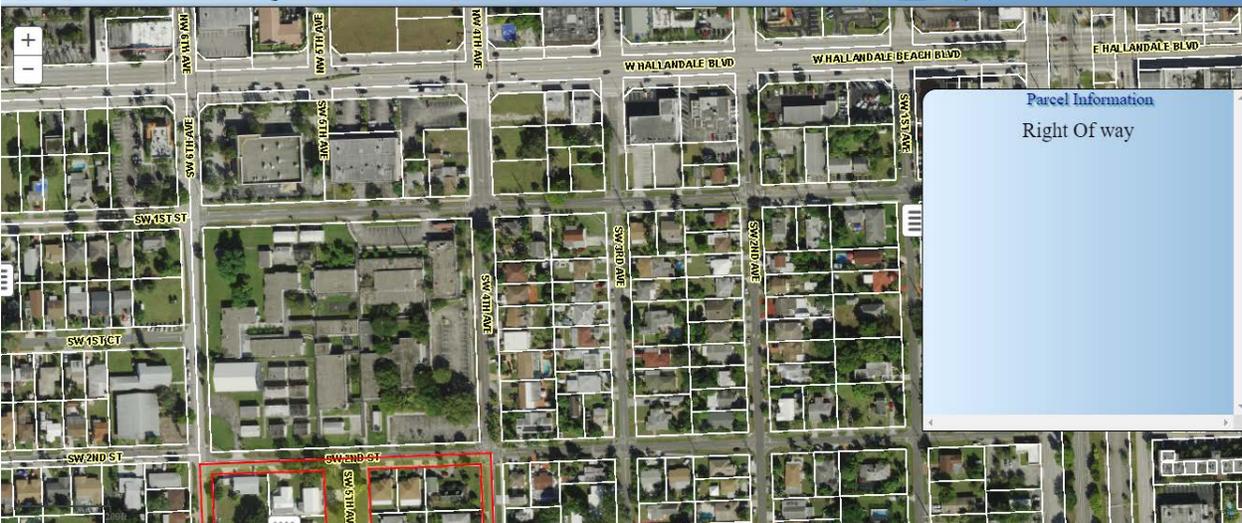
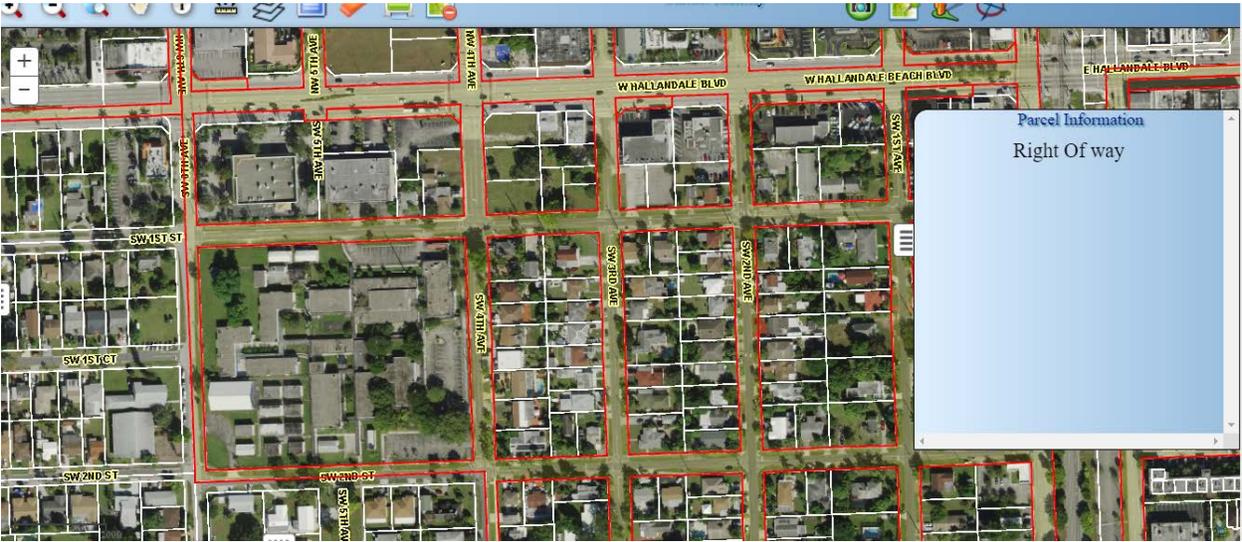
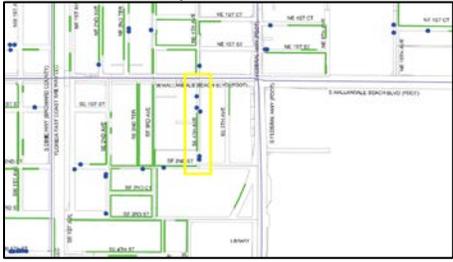
Status: Identity

Parcel Information

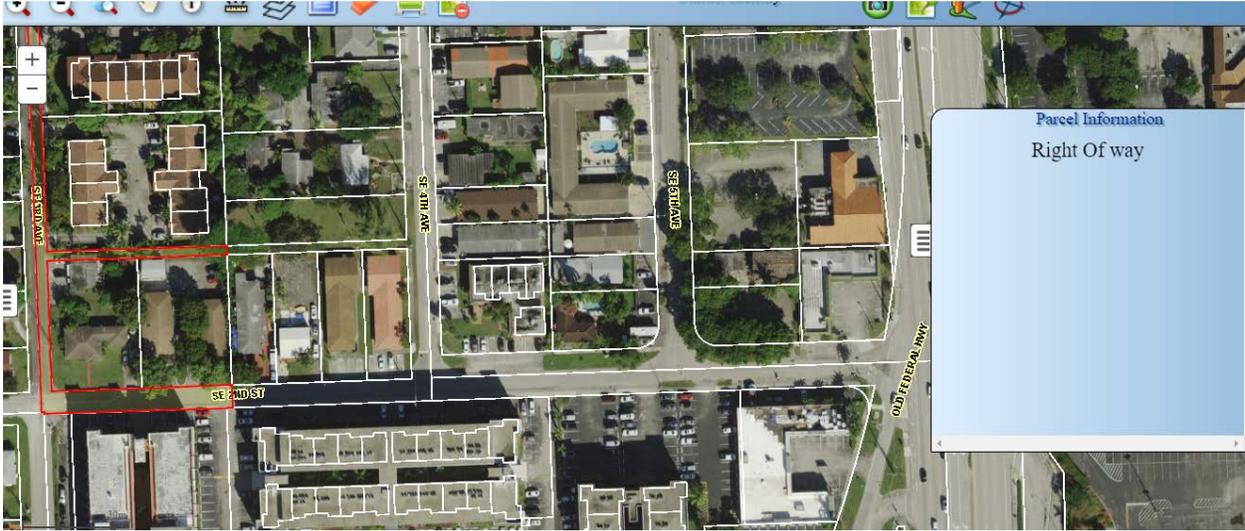
Folio Number: [514222132810](#)
Owner: CITY OF HALLANDALE BEACH
Situs Address: ATLANTIC SHORES BLVD
HALLANDALE BEACH FL 33009
ATLANTIC SHORES DIXIE
HIGHWAY SECTION 9-34 B PT
Legal: OF ATLANTIC SHORES BLVD
SHOWING IN R/W MAP 15-45 B

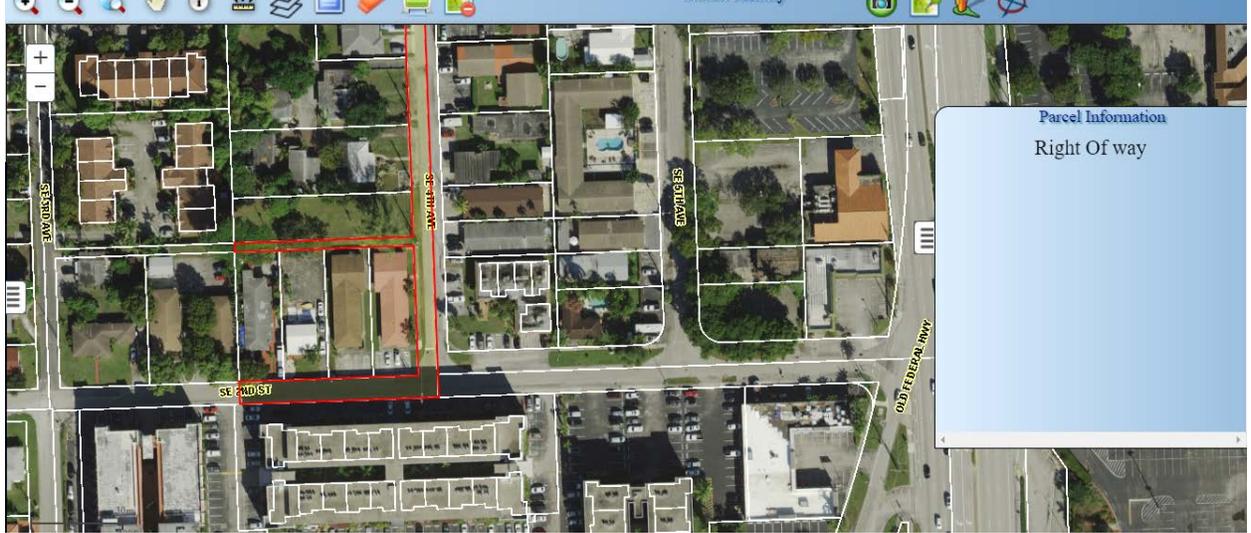
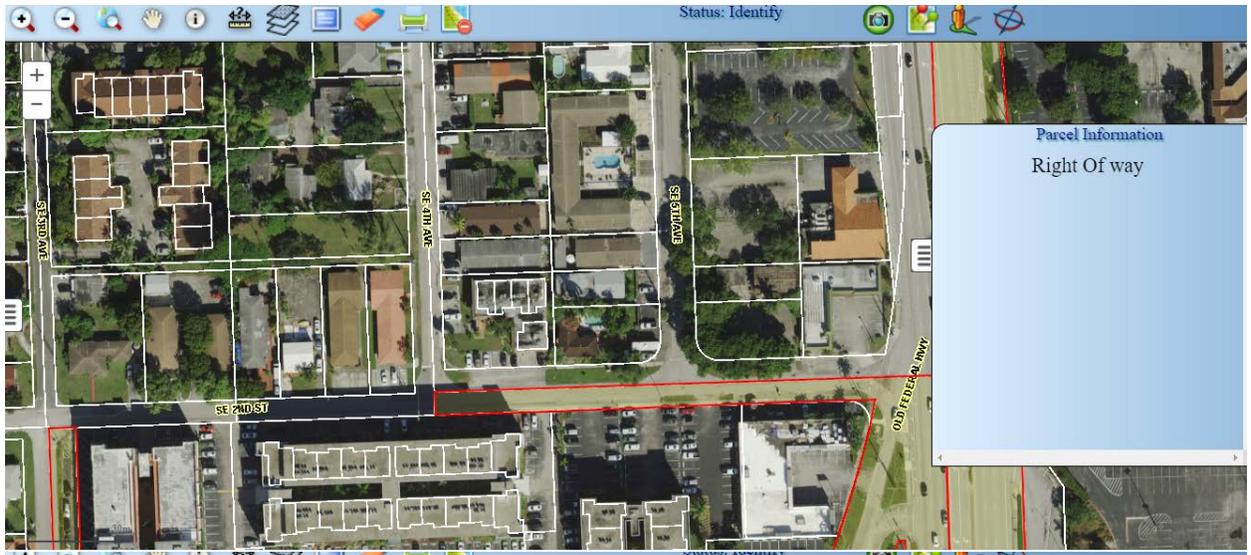
Milage Code: 2513
Use Code: 94
Land Value: \$ 211,610
Building Value: 0
Other Value: 0
Total Value: \$ 211,610
SOH Capped Value: \$ 211,610

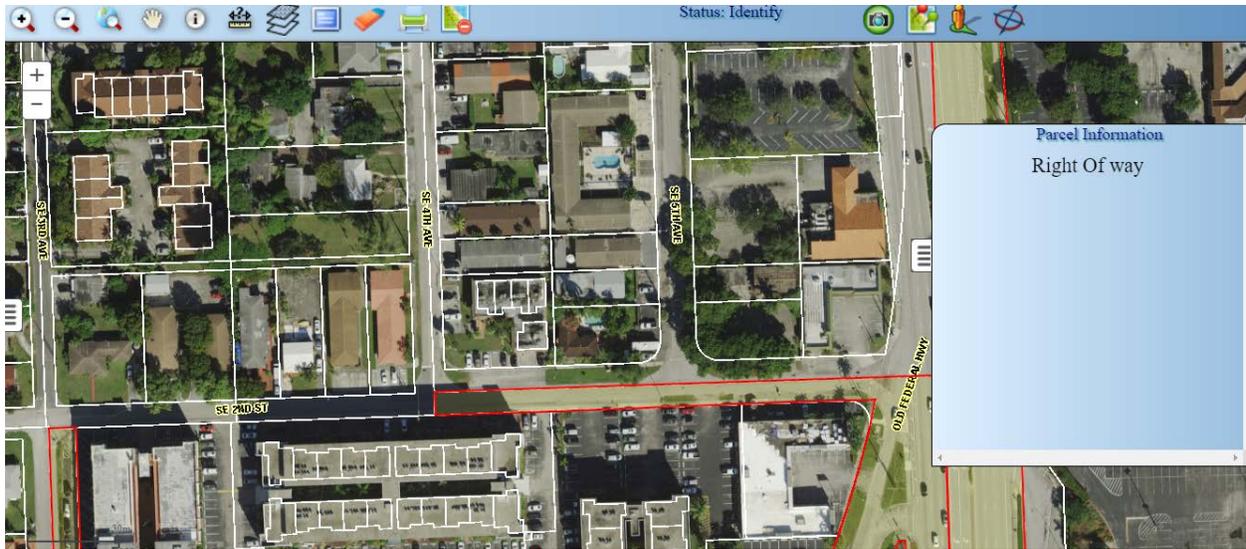
SE 4th Ave., from Hallandale Beach Blvd to SE 2nd Street



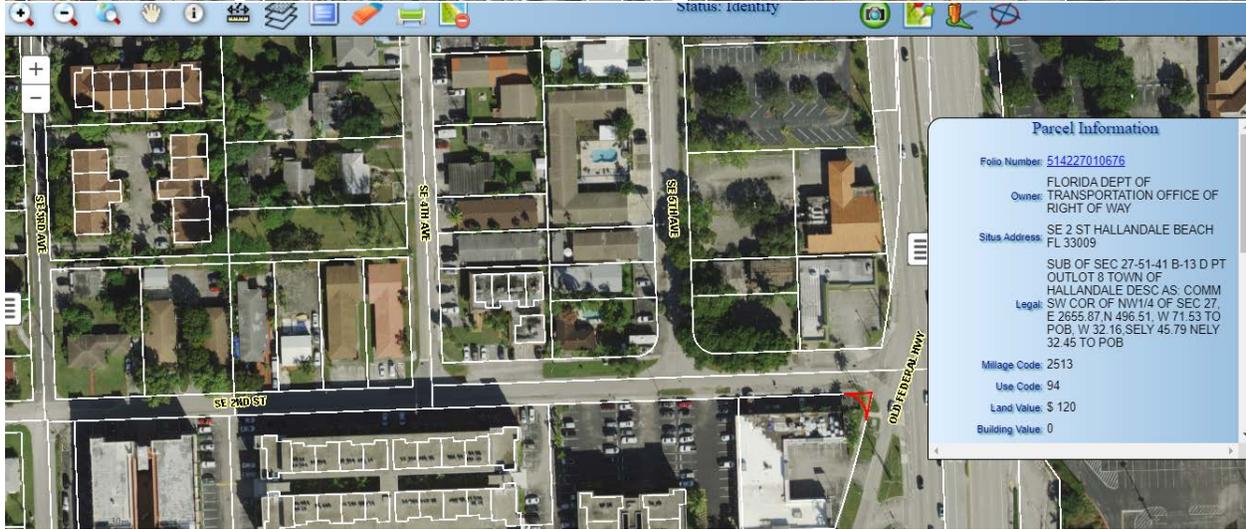
SE 2nd Street, From SE 3rd Ave to Old Federal Hwy.







Parcel Information
Right Of way



Parcel Information

Folio Number: [514227010576](#)

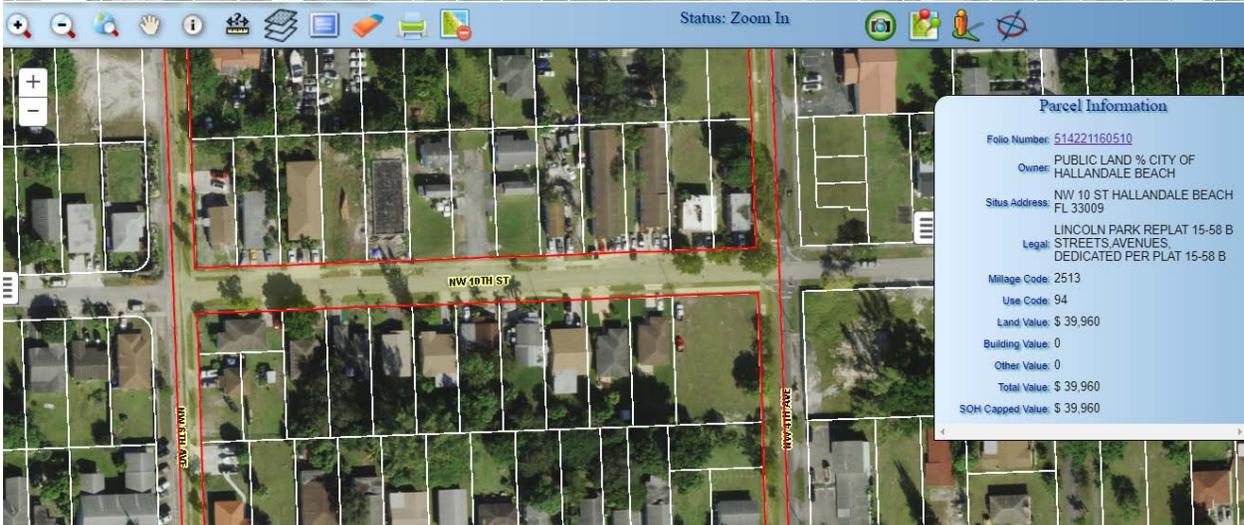
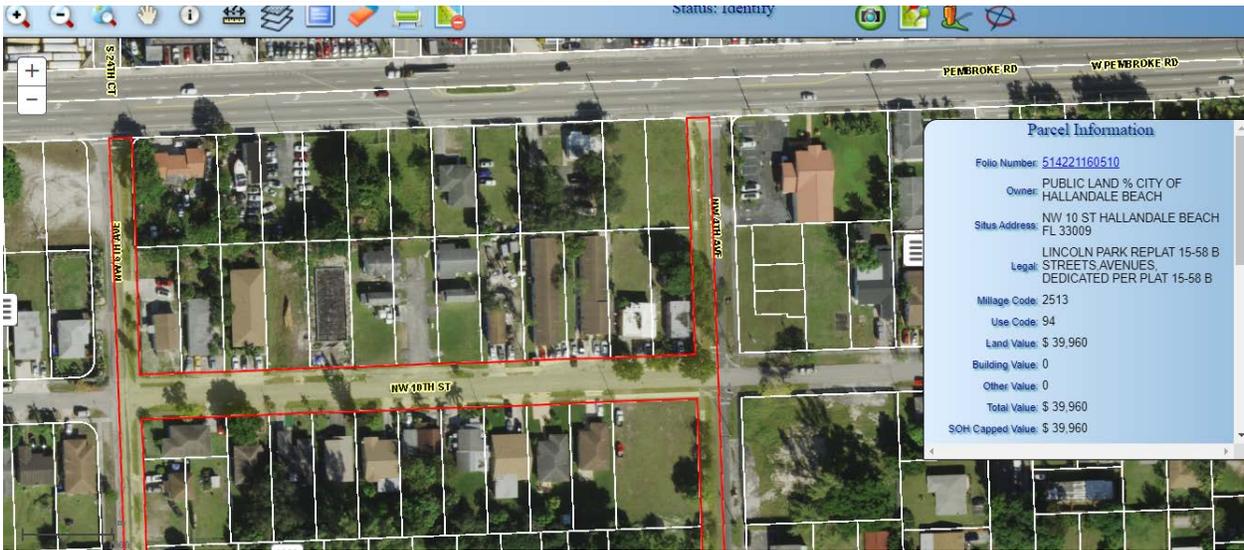
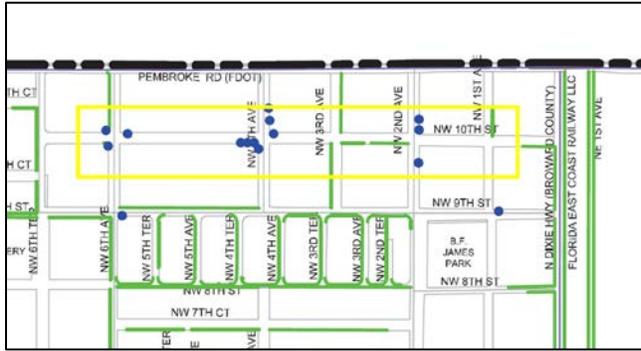
Owner: FLORIDA DEPT OF TRANSPORTATION OFFICE OF RIGHT OF WAY

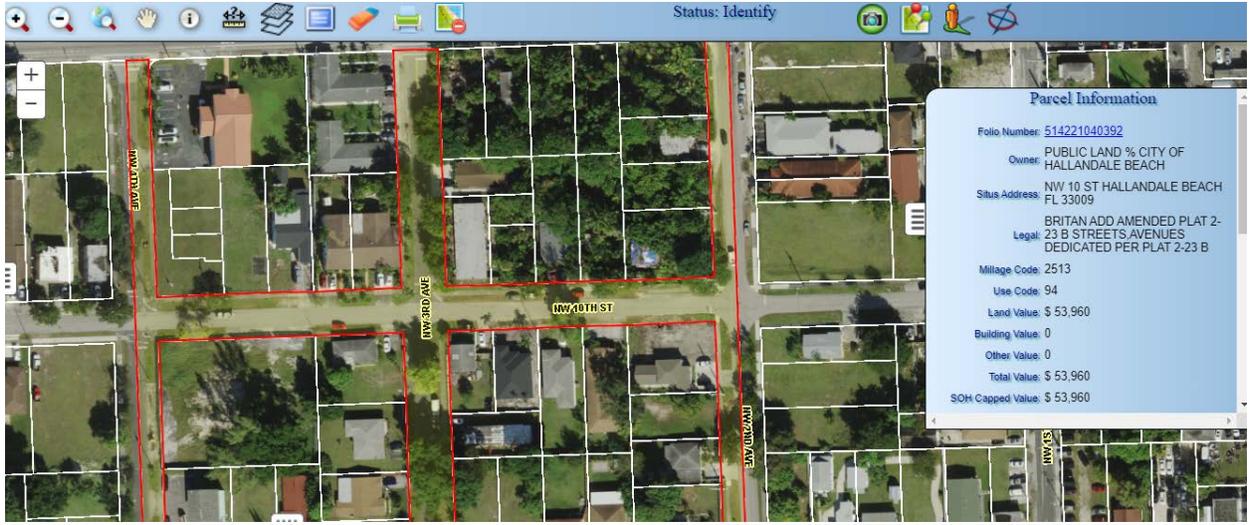
Situs Address: SE 2 ST HALLANDALE BEACH FL 33009

Legal: SUB OF SEC 27-51-41 B-13 D PT OUTLOT 8 TOWN OF HALLANDALE DESC AS COMM SW COR OF NW1/4 OF SEC 27, E 2655.87 N 496.51, W 71.53 TO POB, W 32.16, SELY 48.79 NELY 32.45 TO POB

Milage Code: 2513
Use Code: 94
Land Value: \$ 120
Building Value: 0

NW 10 Street, From NW 1st Ave to NW 6th Avenue

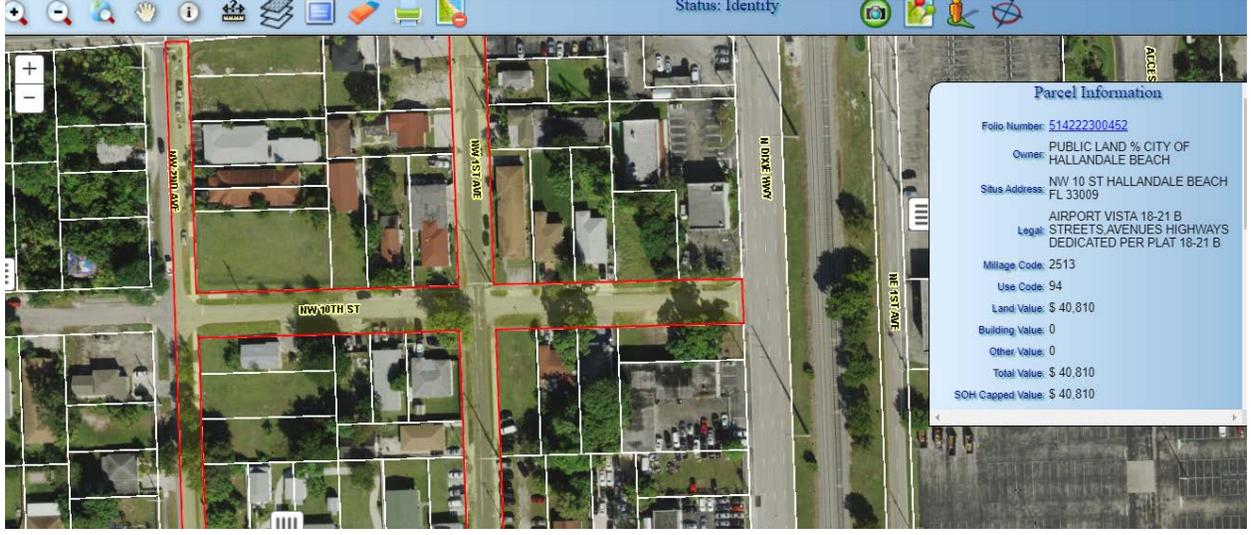




Status: Identify

Parcel Information

Folio Number: [514221040392](#)
Owner: PUBLIC LAND % CITY OF HALLANDALE BEACH
Status Address: NW 10 ST HALLANDALE BEACH FL 33009
Legal: BRITAN ADD AMENDED PLAT 2-23 B STREETS, AVENUES DEDICATED PER PLAT 2-23 B
Millage Code: 2513
Use Code: 94
Land Value: \$ 53,960
Building Value: 0
Other Value: 0
Total Value: \$ 53,960
SOH Capped Value: \$ 53,960

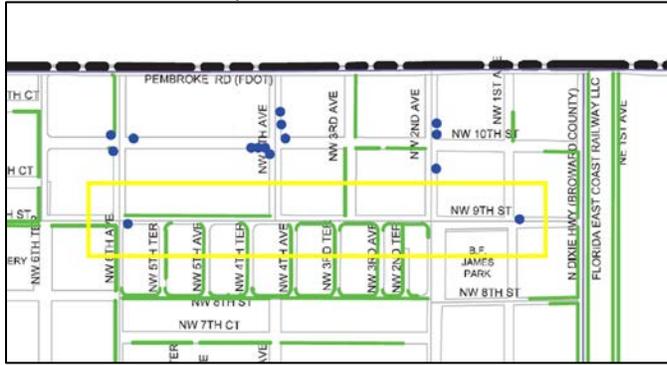


Status: Identify

Parcel Information

Folio Number: [51422200452](#)
Owner: PUBLIC LAND % CITY OF HALLANDALE BEACH
Status Address: NW 10 ST HALLANDALE BEACH FL 33009
Legal: AIRPORT VISTA 18-21 B STREETS, AVENUES, HIGHWAYS DEDICATED PER PLAT 18-21 B
Millage Code: 2513
Use Code: 94
Land Value: \$ 40,810
Building Value: 0
Other Value: 0
Total Value: \$ 40,810
SOH Capped Value: \$ 40,810

NW 9th Street, from NW 1st Ave to NW 6th Ave.



Status: Identify

Parcel Information

Folio Number: [514221160510](#)

Owner: PUBLIC LAND % CITY OF HALLANDALE BEACH

Situs Address: NW 10 ST HALLANDALE BEACH FL 33009

Legal: LINCOLN PARK REPLAT 15-58 B STREETS AVENUES, DEDICATED PER PLAT 15-58 B

Millage Code: 2513

Use Code: 94

Land Value: \$ 39,960

Building Value: 0

Other Value: 0

Total Value: \$ 39,960

SOH Capped Value: \$ 39,960

Status: Identify

Parcel Information

Folio Number: [514221091230](#)

Owner: PUBLIC LAND % CITY OF HALLANDALE BEACH

Situs Address: NW 9 ST HALLANDALE BEACH FL 33009

Legal: GRANT PARK 6-11 B STREETS AVENUES, DEDICATED PER PLAT 6-11 B

Millage Code: 2513

Use Code: 94

Land Value: \$ 58,450

Building Value: 0

Other Value: 0

Total Value: \$ 58,450

SOH Capped Value: \$ 58,450

Status: Identify

Parcel Information

Folio Number: [514221040392](#)
 Owner: PUBLIC LAND % CITY OF HALLANDALE BEACH
 Situs Address: NW 10 ST HALLANDALE BEACH FL 33009
 Legal: BRITAN ADD AMENDED PLAT 2- 23 B STREETS AVENUES DEDICATED PER PLAT 2-23 B
 Millage Code: 2513
 Use Code: 94
 Land Value: \$ 53,960
 Building Value: 0
 Other Value: 0
 Total Value: \$ 53,960
 SOH Capped Value: \$ 53,960

Status: Identify

Parcel Information

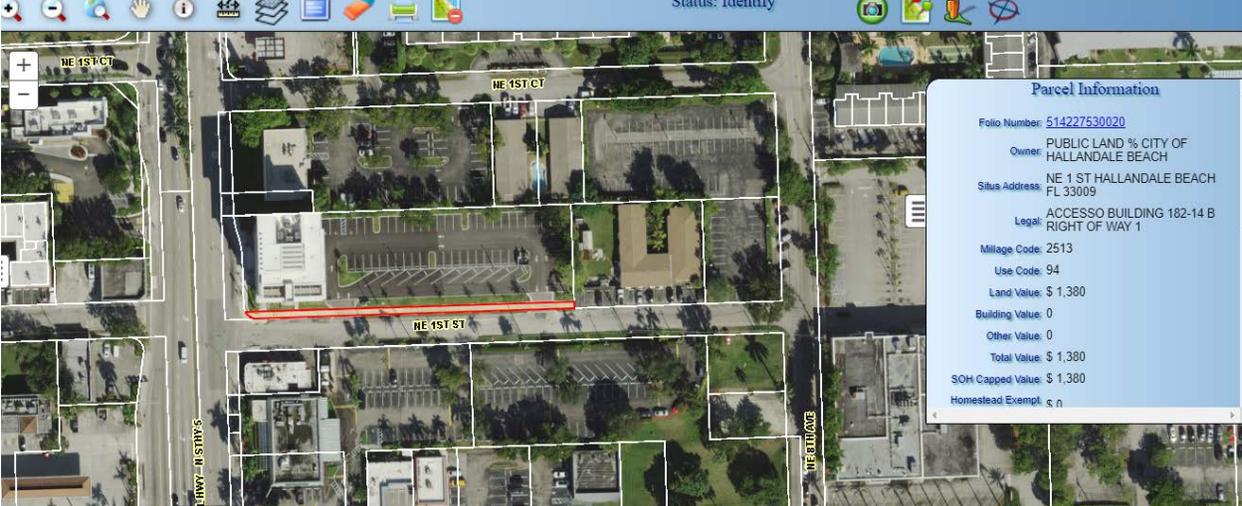
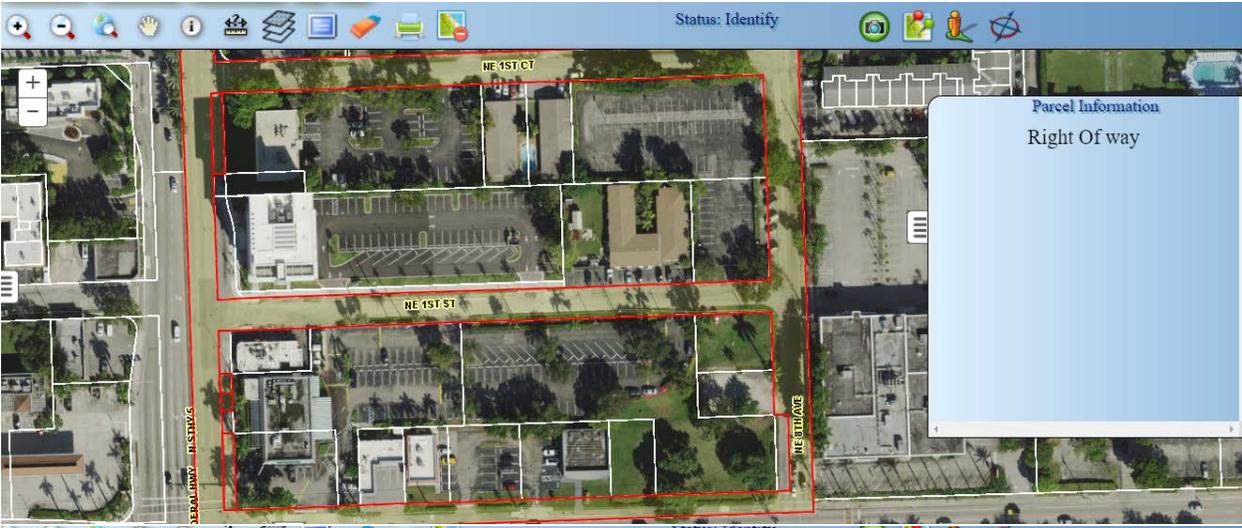
Folio Number: [51422300452](#)
 Owner: PUBLIC LAND % CITY OF HALLANDALE BEACH
 Situs Address: NW 10 ST HALLANDALE BEACH FL 33009
 Legal: AIRPORT VISTA 18-21 B STREETS AVENUES HIGHWAYS DEDICATED PER PLAT 18-21 B
 Millage Code: 2513
 Use Code: 94
 Land Value: \$ 40,810
 Building Value: 0
 Other Value: 0
 Total Value: \$ 40,810
 SOH Capped Value: \$ 40,810

Status: Identify

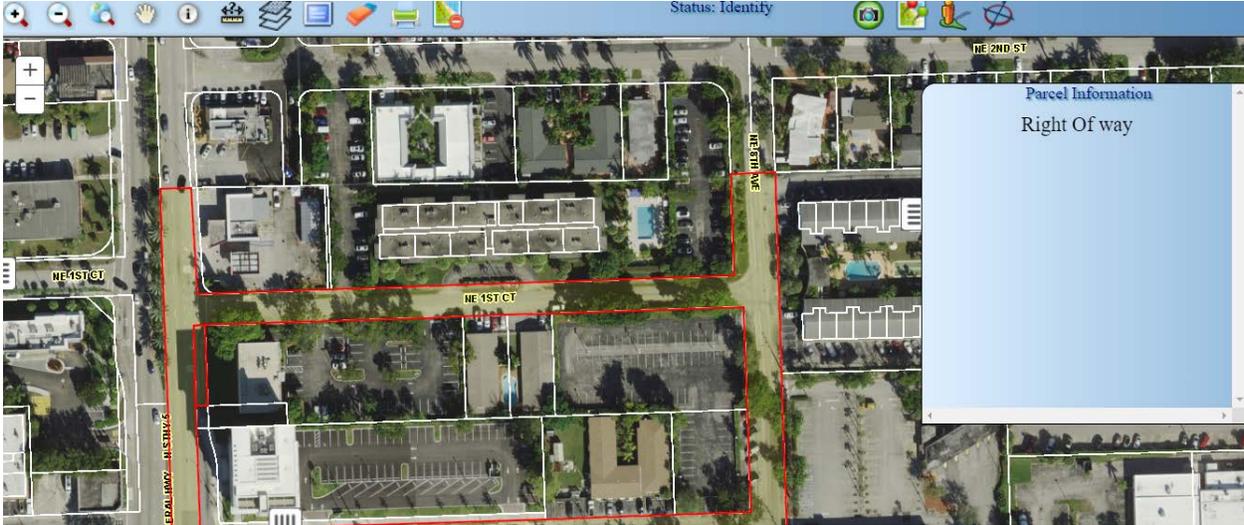
Parcel Information

Right Of way

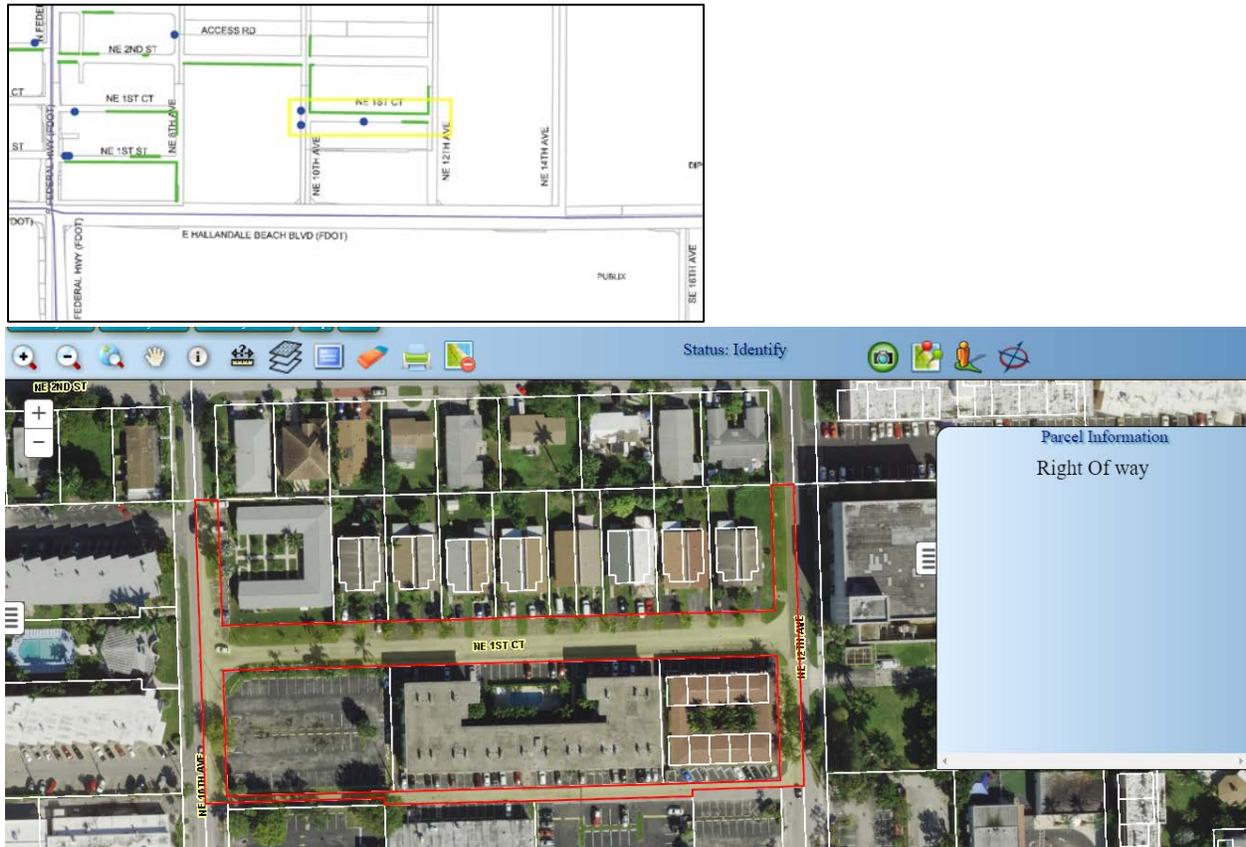
NE 1st Street, from Federal Hwy to NE 8th Ave.



NE 1st Ct, from Federal Hwy to NE 8th Ave.



NE 1st Court from NE 10th Ave to NE 12th Ave.



The total amount of sidewalks from DODR is 225.000 LF and the budgeted works are for 35.000 LF

I think that with those visited sites we have enough to cover our budget